

DRAWING LIST			
SHEET	LAYOUT	PUBLISHED	REVISION
200	SITE LOCATION & SUPERLOT PLAN	<input type="checkbox"/>	B2
210	SITE PLAN	<input type="checkbox"/>	B3
300	GROUND GENERAL ARRANGEMENT FLOOR PLAN	<input type="checkbox"/>	B2
301	LEVEL 1 GENERAL ARRANGEMENT FLOOR PLAN	<input type="checkbox"/>	B2
310	FOUNDATION PLAN	<input type="checkbox"/>	B2
320	MID FLOOR FRAMING PLAN	<input type="checkbox"/>	B2
330	GROUND PARTITION SET OUT PLAN	<input type="checkbox"/>	B2
331	LEVEL 1 PARTITION SET OUT PLAN	<input type="checkbox"/>	B2
340	ROOF FRAMING PLAN	<input type="checkbox"/>	B2
350	ROOF PLAN	<input type="checkbox"/>	B2
360	REFLECTED CEILING PLANS	<input checked="" type="checkbox"/>	B4
370	GROUND FLOOR PLUMBING & DRAINAGE PLANS	<input checked="" type="checkbox"/>	B4
371	LT PLUMBING & DRAINAGE PLAN & SCHEMATICS	<input type="checkbox"/>	B3
380	FIRE PLANS	<input type="checkbox"/>	B2
400	ELEVATIONS	<input type="checkbox"/>	B2
401	ELEVATIONS	<input type="checkbox"/>	B2
410	SECTION 1-1	<input type="checkbox"/>	B2
411	SECTION 1-2	<input type="checkbox"/>	B2
412	SECTION 2-1	<input type="checkbox"/>	B2
413	SECTION 2-2	<input type="checkbox"/>	B2
414	SECTION 3	<input type="checkbox"/>	B3
415	SECTION 4	<input type="checkbox"/>	B3
416	SECTION 5	<input type="checkbox"/>	B2
417	SECTION 6	<input type="checkbox"/>	B2
600	DOOR & WINDOW SCHEDULE - E3h	<input type="checkbox"/>	B2
601	DOOR & WINDOW SCHEDULE - E2h	<input type="checkbox"/>	B2
602	DOOR & WINDOW SCHEDULE - E1	<input type="checkbox"/>	B2
603	DOOR & WINDOW SCHEDULE - E1h	<input type="checkbox"/>	B2
604	DOOR & WINDOW SCHEDULE - D1h	<input type="checkbox"/>	B2

Auckland Council

22 December 2022

BCO10349237 – Lot 29BCO10349400 – Lot 30BCO10349401 – Lot 31BCO10349403 – Lot 32BCO10349404 – Lot 33

APPROVED

BUILDING CONSENT PLANS

I 18 MANUROA ROAD

Included in this Issue

LOT	BUILDING TYPE	TPOLOGY	STREET ADDRESS
29	Terrace	D1h	TBC
30	Terrace	E1	TBC
31	Terrace	E1h	TBC
32	Terrace	E2h	TBC
33	Terrace	E3	TBC

Proposed Lots 29-33  
(Being a subdivision of Lot 2 DP 346037)  
I 18 Manuroa Road, Takanini

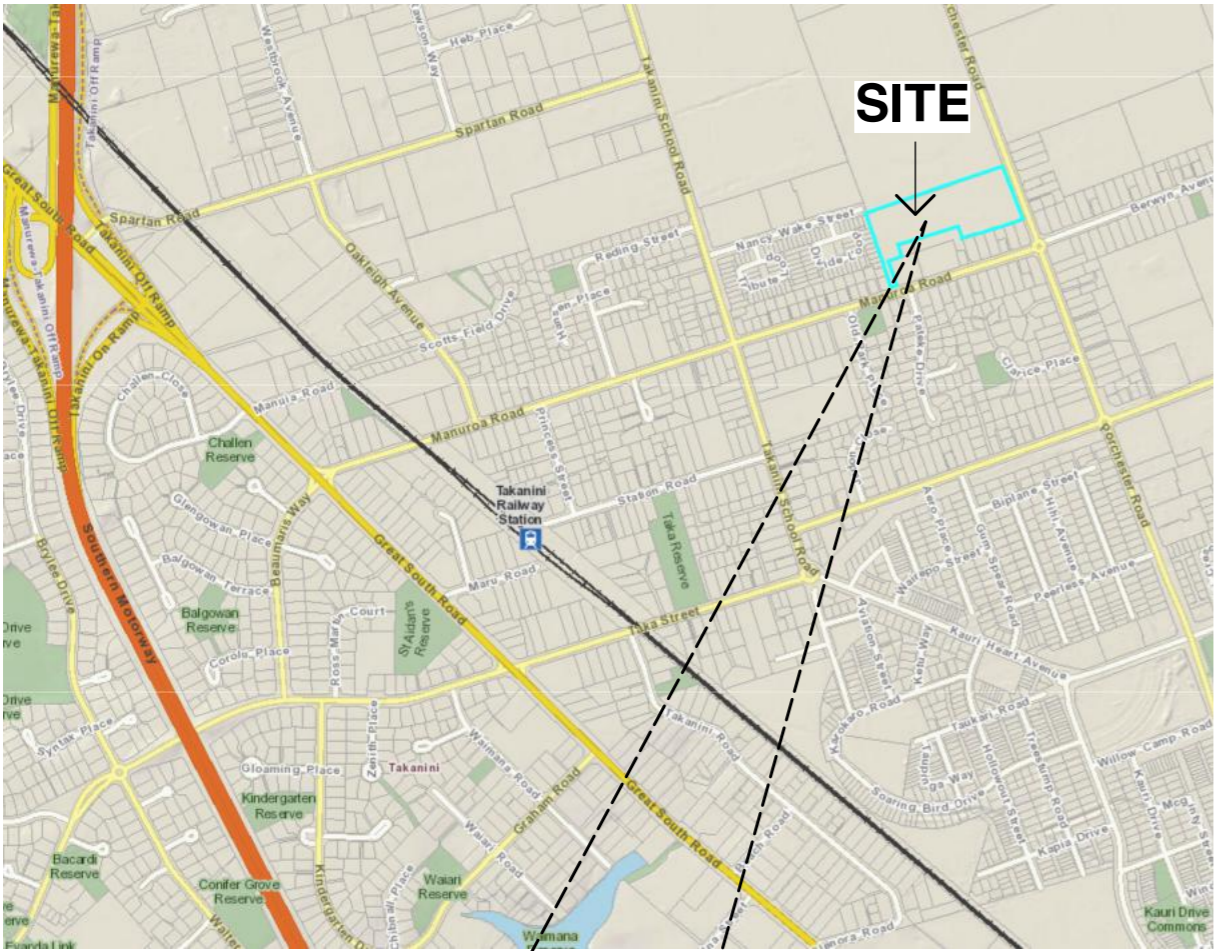
ARCHITECTURAL PLANS

BC ISSUE

Wednesday, 21 December 2022

B4	B41	Sheets revised	21/12/22
B3	B31	Sheets updated	15/12/22
B2	B21	Sheets revised	18/07/22
B1			21/04/22
Rev	ChID	Revision	Date

BCO10349237 Received by Auckland Council 21/12/2022



NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

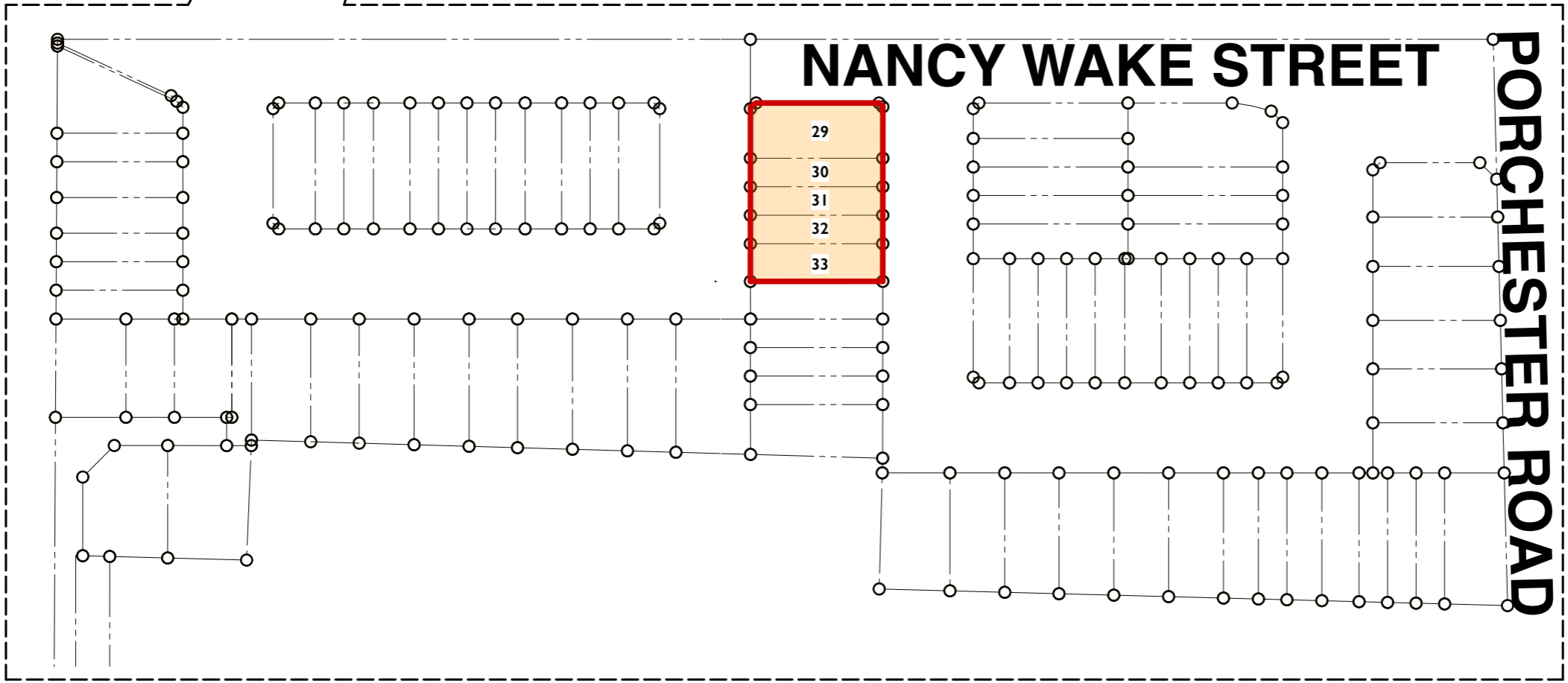
Approved Resource Consent number(s):

BUN 60345310

SITE INFO

Site Address: 118 Manuroa Road, Takanini  
118 MANUROA ROAD  
Lots 29-33  
Lot & DP: Lot 2 DP 346037  
Site Area: 22,653 m<sup>2</sup>  
TA: Auckland  
Planning: Single House Zone (AUP)  
Wind: Medium  
Exposure Zone: C (Medium)  
Earthquake: I

**Auckland Council**  
22 December 2022  
BCO10349237 – Lot 29 BCO10349400 – Lot 30  
BCO10349401 – Lot 31 BCO10349403 – Lot 32  
BCO10349404 – Lot 33  
**APPROVED  
BUILDING CONSENT PLANS**



Superlot Site Plan

Scale 1:2000

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



118 MANUROA ROAD

SITE LOCATION & SUPERLOT PLAN

Code: MANU  
Site: Lots 29-33  
Type: E & D

Scale @ A3:  
Published:  
Status:

1:2000, 1:1000  
28/07/22  
BC ISSUE

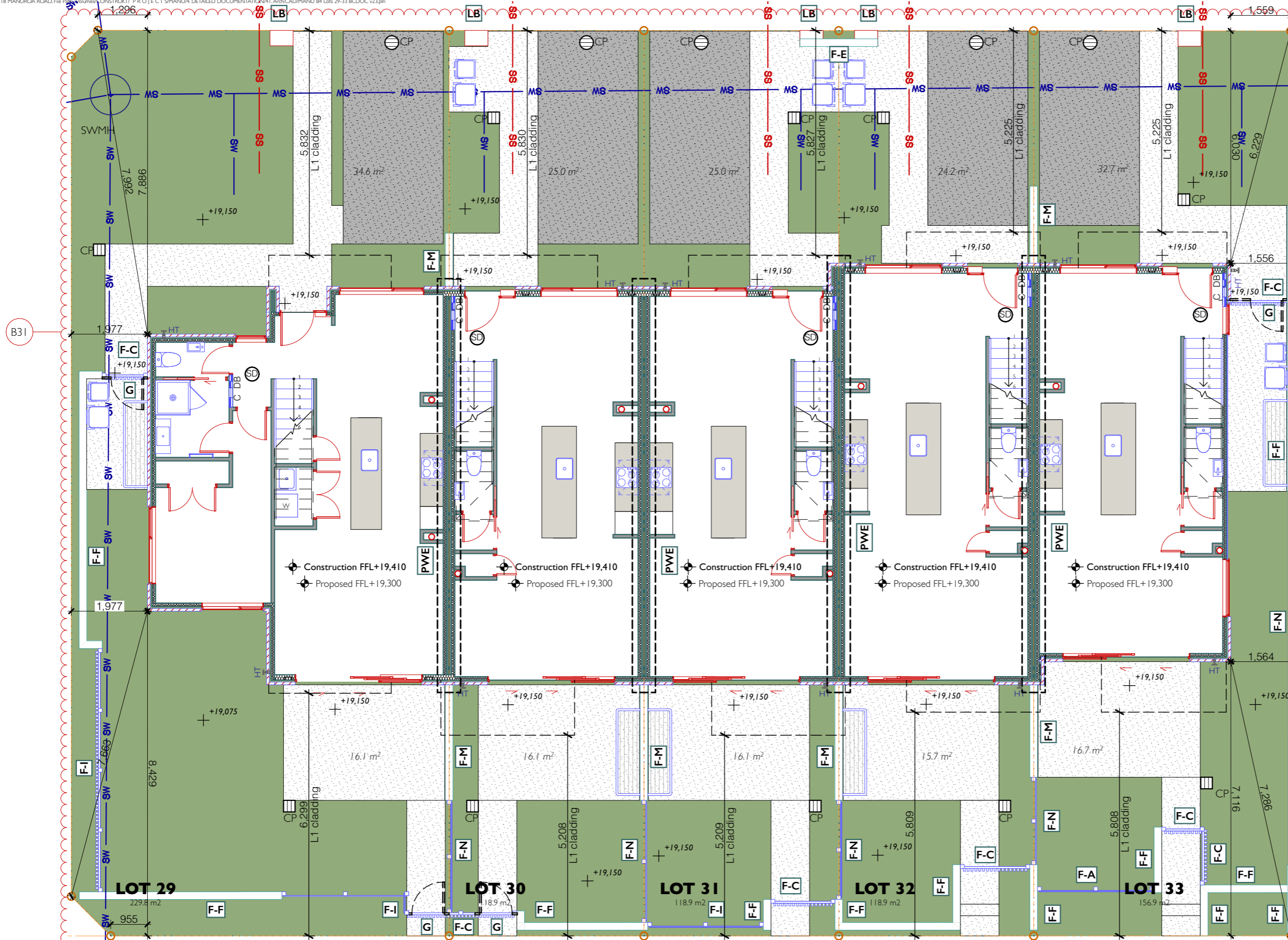


Sheet:  
**200**



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Revision:  
**B2**

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## LANDSCAPE LEGEND

- |   |                                    |
|---|------------------------------------|
| G   | Gate (refer landscape plans)       |
|  | 1.2m 45x20/ 90x20 horizontal board |
|  | 1.5m 40x40 vertical timber battens |

- |     |  |
|-----|--|
| F-E | 1.2m 20 series concrete block<br>fair faced          |
| F-F | 1.5m 20 series concrete block<br>fair faced          |
| F-M | 1.8m brick wall                                      |
| F-N | 1.8m 45X20/ 90X20 horizontal<br>boards to both sides |

- Notes:**
- Refer to Landscape Plans for further information.

**Notes:**

- Refer to Landscape Plans for further information.

118 MANUROA  
ROAD

## SITE PLAN

**22 December 2022**

BCO10349237 – Lot 29	BCO10349400 – Lot 30
BCO10349401 – Lot 31	BCO10349403 – Lot 32
BCO10349404 – Lot 33	

**APPROVED**

**BUILDING CONSENT PLANS**

Published:

Status:

1:100

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Sheet:  
**210**

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Revision:  
**B3**

## NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY  
ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK

Approved Resource Consent number(s):

BUN 60345310

## SITE INFO

Site Address: 118 Manuroa Road, Takanini  
118 MANUROA ROAD  
Lots 29-33



Lot & DP: Lot 2 DP 346037  
Site Area: 22,653 m2  
TA: Auckland  
Planning: Single House Zone (AUP)  
Wind: Medium  
Exposure Zone: C (Medium)  
Earthquake: I

## SITE EASEMENTS LEGEND

Easements shown are indicatively only.  
Refer to Civil Engineers Approved  
Resource Consent Documents for further  
information. Exact Easements to be  
finalised post Building Consent Approval.

**PWE** - Party Wall Easement  
(to accommodate dp & spouting)

## HARD LANDSCAPING LEGEND

- |   |   |
|---|---|
|  | Concrete light broom finish. 17.5 mpa with 5kg/m3 black oxide tint.                             |
|  | Concrete timber float finish with 10kg/m3 black oxide tint with saw cuts. Lay to falls to suit. |

**Notes:**

- All hard landscaping is to be confirmed by client.
- The locations of clothes lines may vary on site.

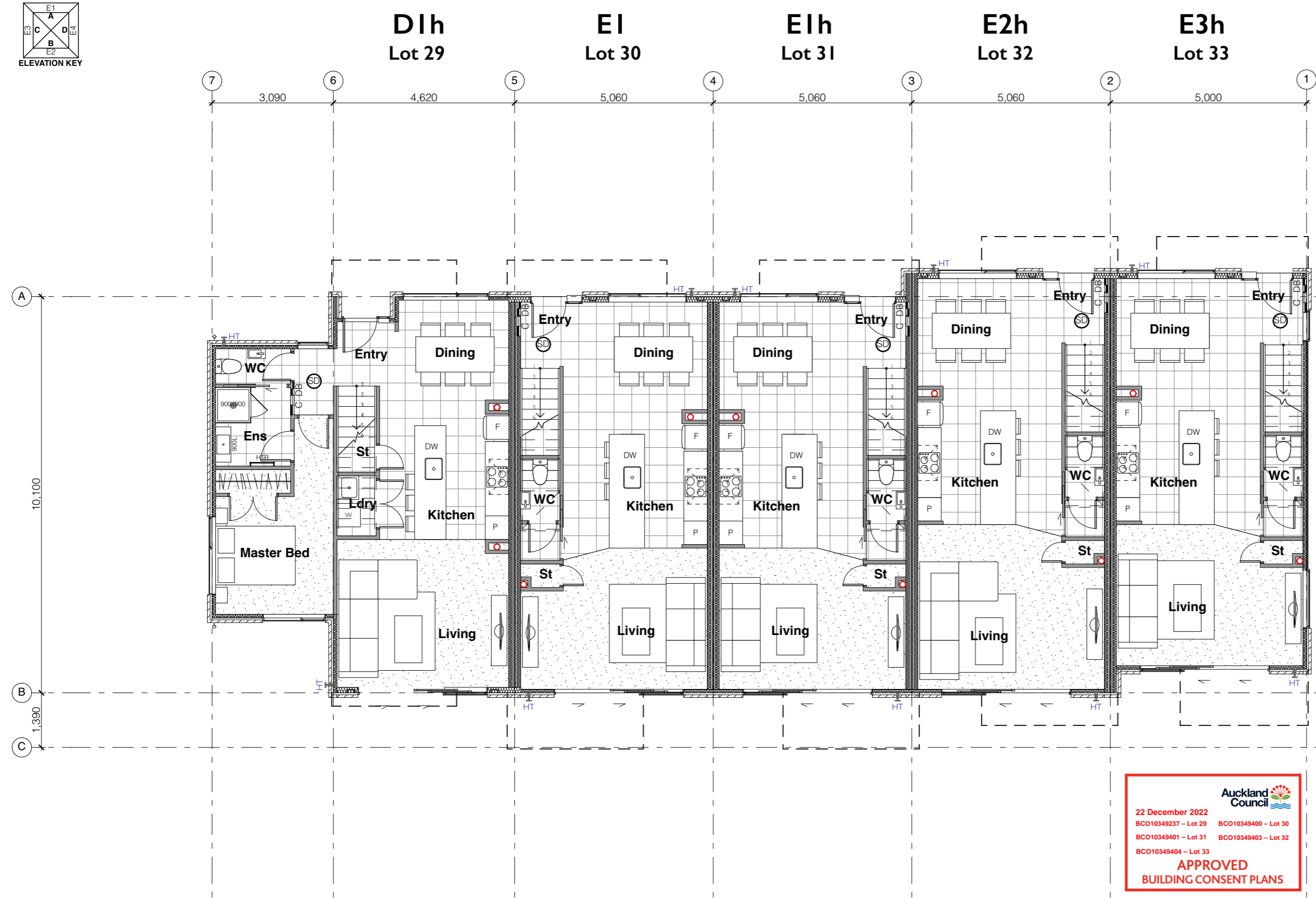
**Note:**  
Construction FFL is based on total future settlement in dwellings in order of 110mm. Please refer to sections 3.4 & 4.0 Settlement Monitoring Report prepared by Riley's Consultants Ref:210278-C. As such 110mm has been added to FFL for construction purposes.

**Note:**  
All driveways, patios and pathways to have se62 mesh

### Unitary Plan Compliance Schedule Checklist

Superlot: Manuroa Rd  
Date: 28/03/22

		Site Coverage						
Lot No.	Typology	Lot Area	Building Coverage Area (m <sup>2</sup> )		Impervious Area (m <sup>2</sup> )		Landscaped Area (m <sup>2</sup> )	
			Building Coverage (%)	Impervious Area (%)	Impervious Area (%)	Landscaped Area (%)		
29	Terraced	230	75	33	121	53	109	47
30	Terraced	119	61	51	93	78	26	22
31	Terraced	119	61	51	93	78	26	22
32	Terraced	119	61	51	95	80	24	20
33	Terraced	157	61	39	102	65	55	35



#### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

#### WALL LEGEND

- Korok IT wall system
- Timber framed wall
- Timber framed wall (insulated)
- Brick veneer over a 50mm min vented cavity

#### FLOOR COVERINGS LEGEND

- Floor tiles from Classic Builders traditional range (including bath face)
- Carpet from Classic Builders traditional range 100% solution dyed nylon with 10mm underlay

#### Notes:

- Kitchens are indicative only. Refer to Kitchen manufacturers documents for final layouts
- Openings dimensions are to opening trim size. Allow for structural openings. Refer to window details for clarification.

#### FIRE LEGEND

- SD Domestic Smoke Alarm (Type 1): To comply with NZS4514-2009

#### GFA AREAS - Lot 33

Level	Area (m <sup>2</sup> )
Ground	52.4
Level I	58.6
<b>TOTAL</b>	<b>111.0*</b>

#### GFA AREAS - Lots 32

Level	Area (m <sup>2</sup> )
Ground	55.4
Level I	58.8
<b>TOTAL</b>	<b>114.2*</b>

#### GFA AREAS - Lot 31 & 30

Level	Area (m <sup>2</sup> )
Ground	52.3
Level I	59.0
<b>TOTAL</b>	<b>111.3*</b>

#### GFA AREAS - Lot 29

Level	Area (m <sup>2</sup> )
Ground	70.5
Level I	50.7
<b>TOTAL</b>	<b>121.2*</b>

\* lightweight claddings not included.

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



I18 MANUROA ROAD

CLASSIC DEVELOPMENTS

GROUND GENERAL ARRANGEMENT FLOOR PLAN

Code: MANU Site: E & D Type: E & D

Scale @ A3:

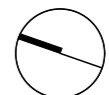
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Status:

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28/07/22

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Sheet:

**300**

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Revision:

**B2**

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NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

WALL LEGEND

- Korok IT wall system
- Timber framed wall
- Timber framed wall (insulated)
- Brick veneer over a 50mm min vented cavity

FLOOR COVERINGS LEGEND

- Floor tiles from Classic Builders traditional range (including bath face)
- Carpet from Classic Builders traditional range 100% solution dyed nylon with 10mm underlay

Notes:

- Kitchens are indicative only. Refer to Kitchen manufacturers documents for final layouts
- Openings dimensions are to opening trim size. Allow for structural openings. Refer to window details for clarification.

FIRE LEGEND

- Domestic Smoke Alarm (Type 1): To comply with NZS4514-2009

CEILING LEGEND

- Solatube: In ceiling through ceiling space. Hometec Solatube 160DS rooflight. Ventilated to bathroom without window.

GFA AREAS - Lot 33

Level	Area (m <sup>2</sup> )
Ground	52.4
Level I	58.6
<b>TOTAL</b>	<b>111.0*</b>

GFA AREAS - Lots 32

Level	Area (m <sup>2</sup> )
Ground	55.4
Level I	58.8
<b>TOTAL</b>	<b>114.2*</b>

GFA AREAS - Lot 31 & 30

Level	Area (m <sup>2</sup> )
Ground	52.3
Level I	59.0
<b>TOTAL</b>	<b>111.3*</b>

GFA AREAS - Lot 29

Level	Area (m <sup>2</sup> )
Ground	70.5
Level I	50.7
<b>TOTAL</b>	<b>121.2*</b>

\* lightweight claddings not included.

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



I18 MANUROA ROAD

CLASSIC DEVELOPMENTS

LEVEL I GENERAL ARRANGEMENT FLOOR PLAN

Code: MANU Site: E & D Type: Status:

Scale @ A3:  
Published:  
Status:

1:100

28/07/22

BC ISSUE



Sheet:

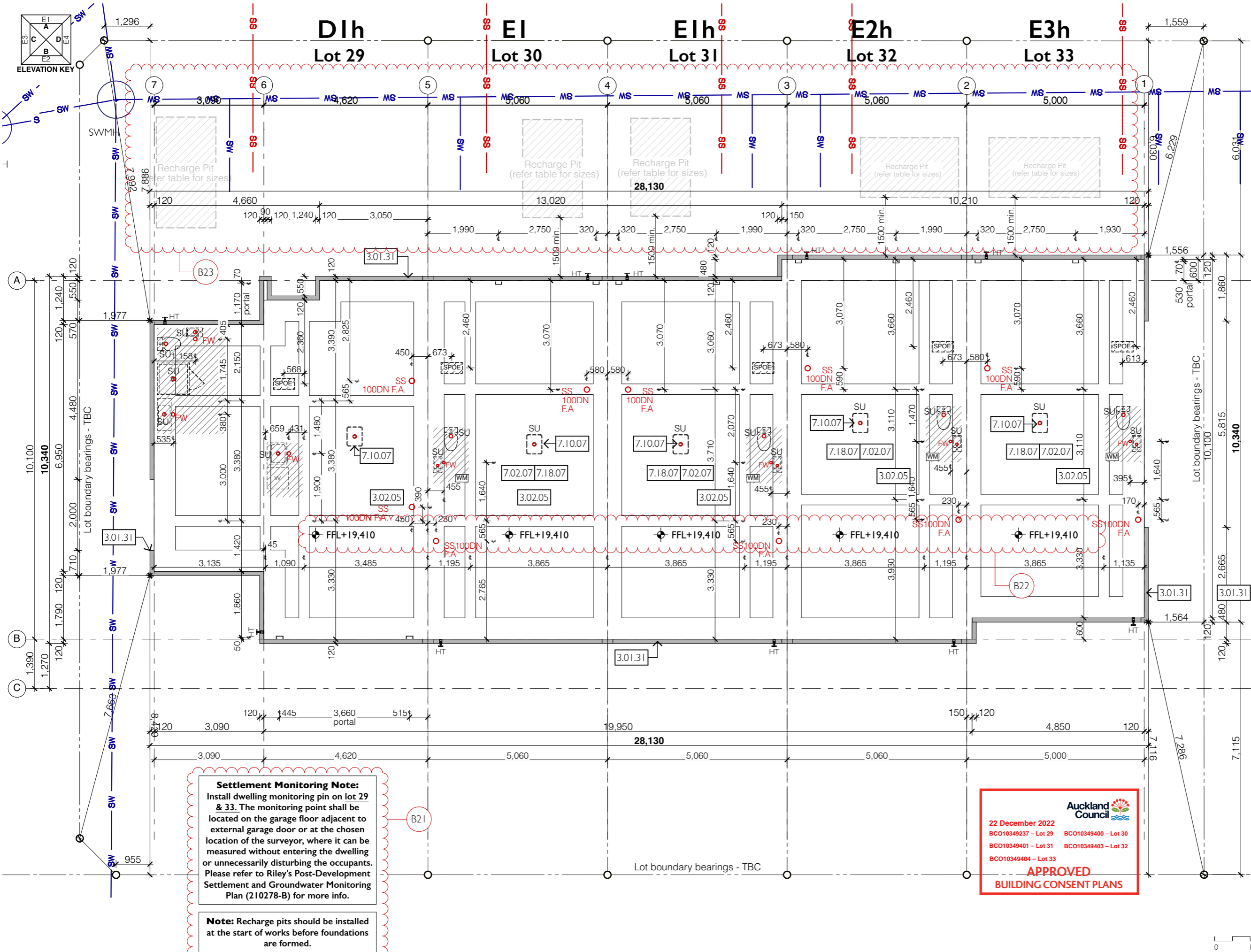
301

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**NOTES**  
DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

**SLAB LEGEND**

- SPOE** Services point of entry to building (under 4th tread). 300mmx600mm
- SS** Sanitary soil stack stub up in concrete slab.
- SU** Sanitary stub up in concrete slab. Client to confirm positions.
- FW** Floor/Wastes in concrete slab.

**Notes:**  
- Set-out dims to slab perimeter are in line with external wall framing. Contractor to reduce slab perimeter dims inwards by 5mm to allow framing to overhang slab edge.

**WET AREAS**

WET AREAS WATERPROOF MEMBRANE FLOOR

**DHC Consulting Ltd** certifies part of the structure as per the enclosed design and producer statement for design. No other structure has been checked.  
DATE: 22/04/2022

**Key Notes**

- 3** STRUCTURE BUILDING
- 3.01.31** 100mm deep x 120mm wide rebate in concrete slab for brick veneer.
- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.

**7** SERVICES

- 7.02.07** Provide water supply for Kitchen Island joinery under slab. Refer to Kitchen Design for details.
- 7.10.07** Sanitary stub up in concrete slab located within Kitchen joinery. Refer to Kitchen Design for details and positioning.
- 7.18.07** Provide electrical supply for Kitchen Island joinery under slab via conduit to nearest wall as shown. Refer to Kitchen Design for further details.

**Note:**  
All driveways, patios and pathways to have se62 mesh

FB = From Below F.A = From Above  
T.B = To Below T.A = To Above

**Note:** This Plan is to be read in conjunction with DHC Consulting Ltd raft slab drawings. DHC drawings override this plan.

**Note:** This Plan is to be read in conjunction with DHC Consulting Ltd structural drawings

**Important Note:** Contractor to confirm correctness of slab plans with other plans. Inform Architect of any discrepancies.

B23	RC pits updated	18/07/22
B22	Levels updated	
B21	Notes added	
BI		21/04/22
Rev	ChID	Revision
		Date

Classic Developments

construct

I18 MANUROA ROAD

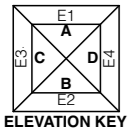
FOUNDATION PLAN

Code: MANU Site: Lots 29-33 Type: E & D

Scale @ A3: 1:100, 1:1  
Published: 28/07/22  
Status: BC ISSUE

Sheet: 310  
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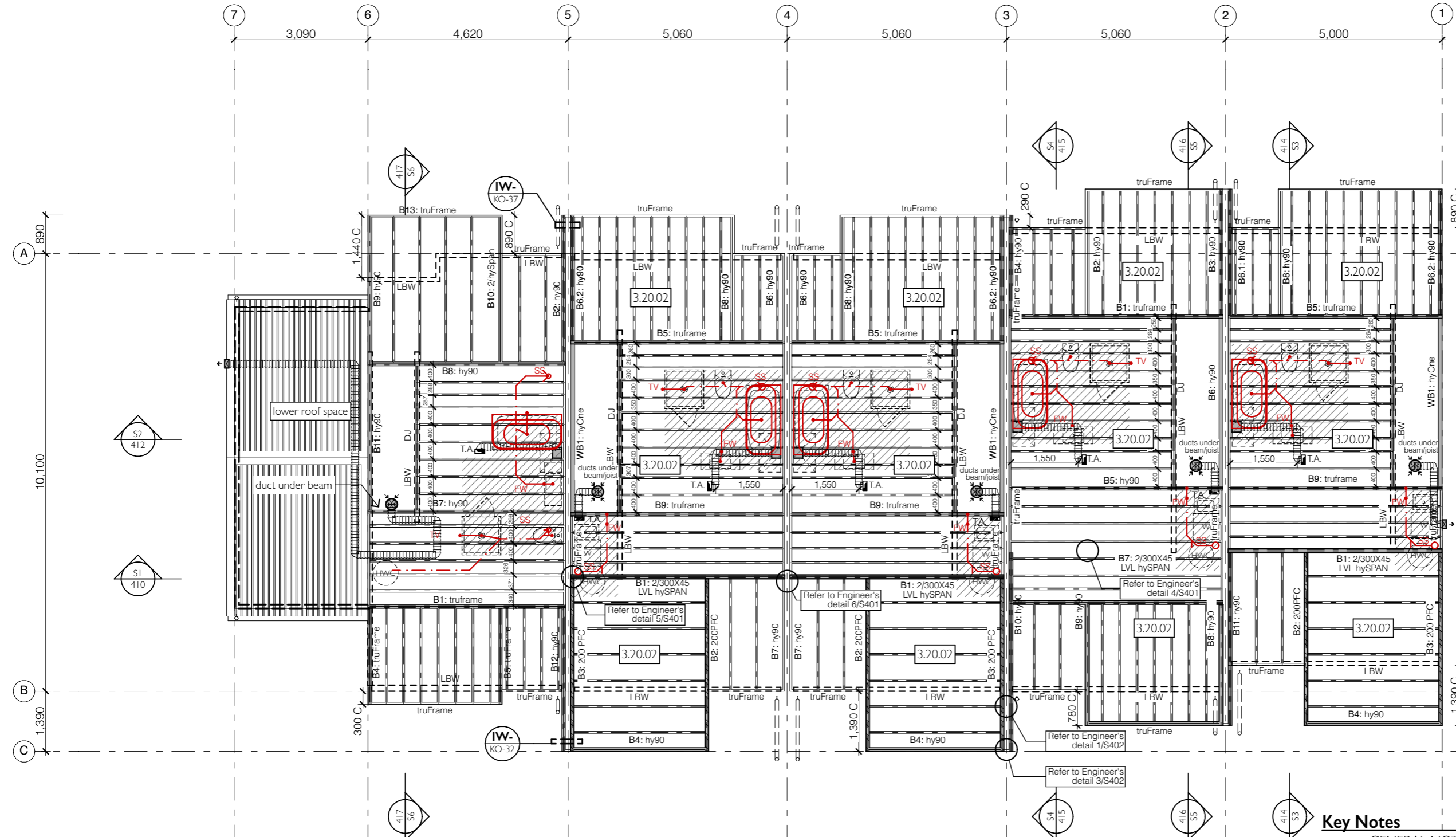
D1h  
Lot 29

E1  
Lot 30

E1h  
Lot 31

E2h  
Lot 32

E3h  
Lot 33



**NOTES**  
DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

- FLOOR FRAMING LEGEND**
- LBW Load bearing wall under.
  - truFrame Joist. 300x45 H1.2 TruFrame joist unless noted otherwise.
  - DJ Double joist. 2/300x45 H1.2 TruFrame unless noted otherwise.
  - HySpan HySpan Beam. 300x90 H1.2 unless noted otherwise.
  - Hy90 Hy90 Beam. 300x90 H1.2 unless noted otherwise.
  - C Cantilever dimension.
  - B# SED timber beam by Engineer
  - B# SED steel beam by Engineer

**Important Notes:**

- All timber beams fixed to boundary joist are to have 2/LUMBERLOK CPC40s. (screws into timber beams)
- All joists fixed to timber beams are to have joist hangers to suit.
- Backspan of all cantilevered timber beams to be min. 2/cantilevered length.

- MECHANICAL LEGEND**
- Mechanical Riser flat duct: 220x90DN unless noted otherwise.
  - Mechanical flexiduct circular: 150DN unless noted otherwise
  - Extract Fan: In ceiling.
  - Extract Rangehood: TBC.
  - Extract Cowl: On wall. (Stainless steel)

**Notes:**

- All mechanical extract ventilation to comply with AS1688.2 2012. Extract fans are 150DN and have a minimum flow rate of 100 L/s.

**WET AREAS**

WET AREAS WATERPROOF MEMBRANE FLOOR

22 December 2022  
BCO10349237 - Lot 29 BCO10349400 - Lot 30  
BCO10349401 - Lot 31 BCO10349403 - Lot 32  
BCO10349404 - Lot 33

**APPROVED  
BUILDING CONSENT PLANS**

DHC Consulting Ltd certifies part of the structure as per the enclosed design and producer statement for design. No other structure has been checked

DATE: 22/04/2022

- Key Notes**
- GENERAL NOTES**
- 1.03.01** Only main structural floor members are shown for clarity. Provide all additional necessary framing.
  - 1.03.22** Provide solid nogging full depth between floor joists at mid span (omitted for clarity).
  - 1.03.25** Contractor to confirm sanitaryware fixtures with client prior to installation of floor joists and set out joists to avoid wastes.
- 3 STRUCTURE BUILDING**
- 3.20.02** 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

F.B = From Below F.A = From Above  
T.B = To Below T.A = To Above

**Note: This Plan is to be read in conjunction with DHC Consulting Ltd structural drawings**

**Note: This Plan is to be read in conjunction with Carter's cassette floor drawings**

B2	18/07/22
B1	21/04/22
Rev	ChID Revision Date



I18 MANUROA ROAD

MID FLOOR FRAMING PLAN

Scale @ A3: 1:100, 1:1  
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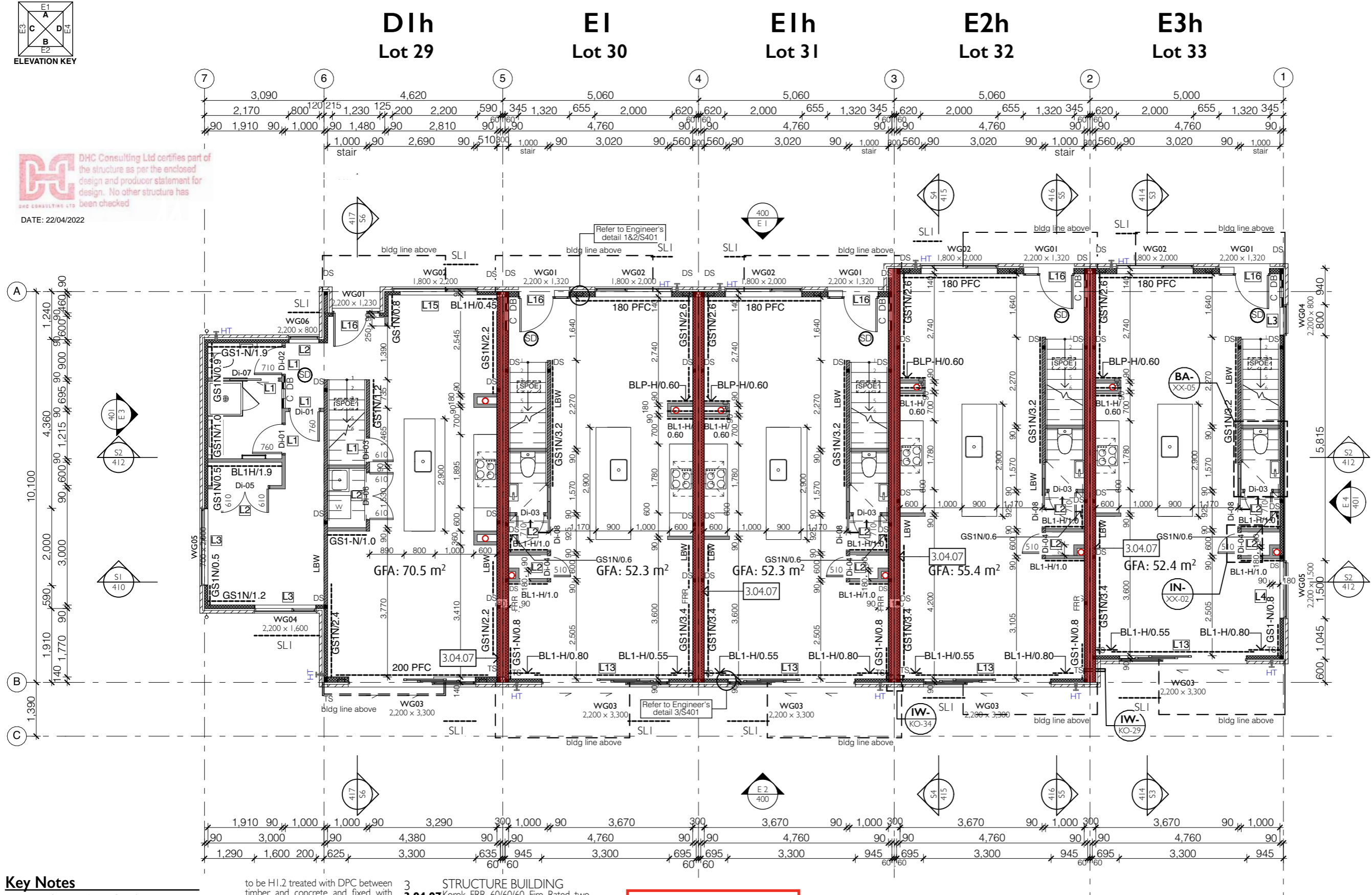
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ELEVATION KEY

DHC Consulting Ltd certifies part of the structure as per the enclosed design and producer statement for design. No other structure has been checked

DATE: 22/04/2022



- Key Notes**
- GENERAL NOTES**
- 1.03.10** Bracing elements are calculated by engineer. Refer to Engineers documents.
- 1.03.31** All bottom plates to timber framed walls (except fire rated walls) on concrete floor slabs to be H1.2 treated with DPC between timber and concrete and fixed with m12 bolt hold downs at 900mm crs (600mm to masonry blockwork) and within 150mm of each end of the plate.
- 1.03.32** All bottom plates to fire rated timber framed walls on concrete floor slabs to be H1.2 treated with DPC between timber and concrete and fixed with proprietary post fix anchors at 900mm crs (600mm to masonry blockwork) and within 150mm of each end of the plate.
- 1.03.41** All studs to be fixed to top plates with Lumberlok Fixings TYPE B. Refer to Lumberlok Fixings sheet for further details.
- 1.03.61** Unless specified otherwise, nogs to timber framed walls are to be at 800mm crs.
- 1.05.01** Gib wall lining to be installed horizontally.

- 3.04.07** STRUCTURE BUILDING
- Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec: KIT01



**Note:** This Plan is to be read in conjunction with DHC Consulting Ltd structural drawings

BRICK STEEL LINTELS					
Lintel	Size	Method	Fixing	Crs	Treatment
SLI	80x6 EA	I	n/a	n/a	Hot-dip galv

All brick steel lintels are sized by Think Brick TBI manual.

**NOTES**

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

- WALL LEGEND**
- 90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls with studs @ 400mm crs (Uninsulated).
  - 90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls with studs @ 400mm crs (Insulated).
  - 90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls with studs @ 600mm crs (Uninsulated).
  - 90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls with studs @ 600mm crs (Insulated).
  - 70 series brick veneer tied to wall framing over a 50mm min vented cavity.
  - FRR FRR wall to system noted. Wall studs as detailed above.
  - KO FRR Korok FRR Fire Rated intertenancy wall to system noted with timber framed walls each side, studs as detailed above.
  - DS Double stud. Double full height timber studs within wall framing.
  - TS Triple stud. Triple full height timber studs within wall framing.

- LINTELS**
- Lintels sized as per Lintel Schedule. Unless otherwise noted, all lintels are to be H1.2 hy90.
  - SED nominated lintels have been sized by Engineer.
  - Truss nominated lintels have been sized by Truss Designer.
  - Unless otherwise noted, all lintel fixings are to be Lumberlok fixings. Refer to Lintel Fixings Options sheet for further information.
  - Pack out lintels where required to suit wall framing thickness.

- Notes:**
- Openings dimensions are to opening box size. Allow for trimmed openings. Refer to window details for clarification.

LINTEL SCHEDULE		
Lintel	Size	Fixing
L1	2/90x45 SG8	Type G
L2	2/140x45 SG8	Type G
L3	2/190x45 SG8	Type G
L4	2/240x45 SG8	Type G
L5	2/290x45 SG8	Type G

SED LINTEL SCHEDULE		
Lintel	Size	Fixing
L6	2/190x45 SG8	Type F
L13	200 PFC	SED
L15	2/290x45 SG8	Type G
L16	2/190x45 SG8	Type F

B2			18/07/22
B1			21/04/22
Rev	ChID	Revision	Date

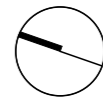


I18 MANUROA ROAD

GROUND PARTITION SET OUT PLAN

Code: MANU Site: E & D Type: E & D

Scale @ A3: 1:100, 1:1  
Published: 28/07/22  
Status: BC ISSUE



Sheet: 330  
Revision: B2  
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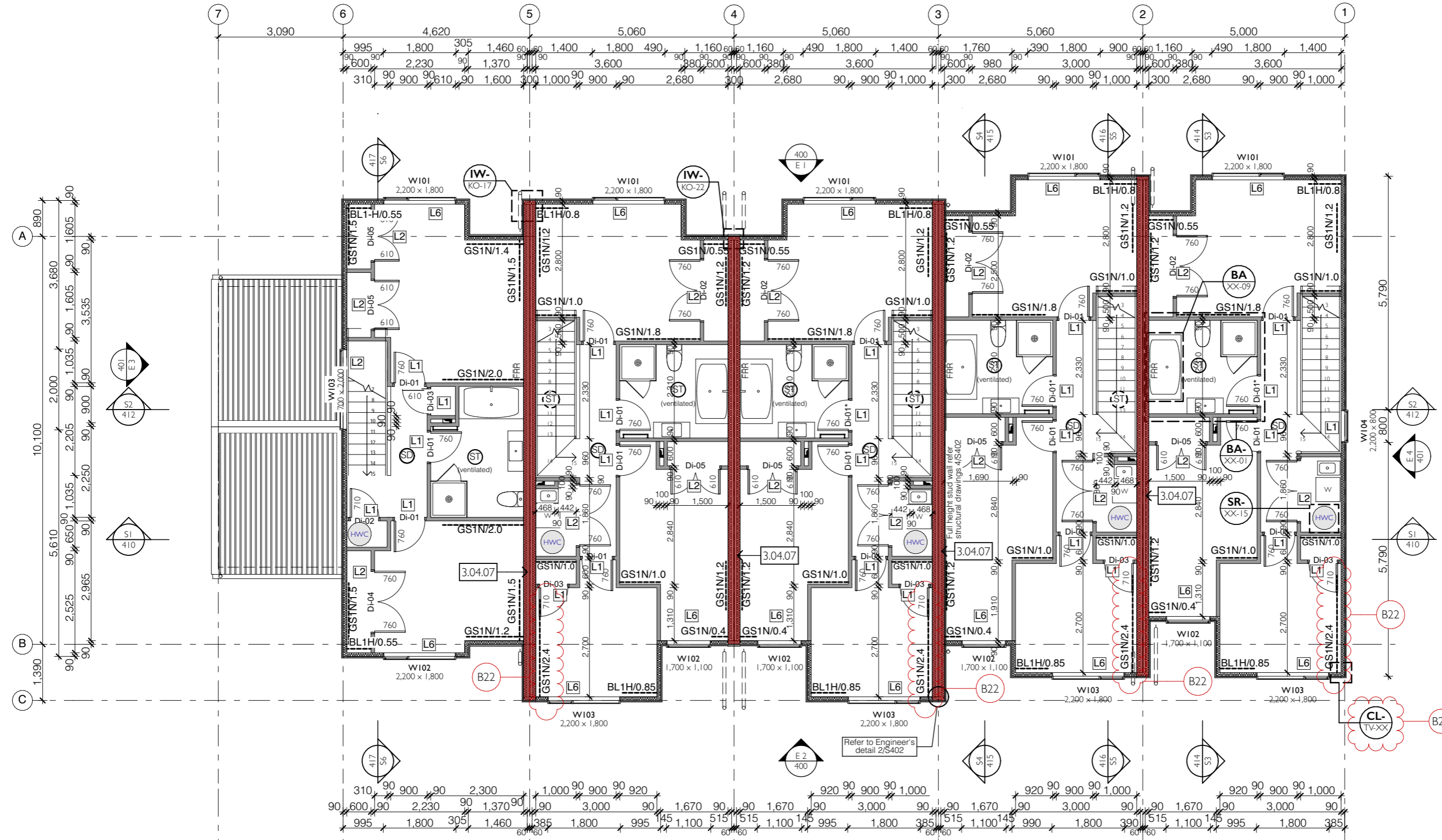
DIh  
Lot 29

EI  
Lot 30

EIh  
Lot 31

E2h  
Lot 32

E3h  
Lot 33



### Key Notes

**GENERAL NOTES**

**1.03.10** Bracing elements are calculated by engineer. Refer to Engineers documents.

**1.03.31** All bottom plates to timber framed walls (except fire rated walls) on concrete floor slabs to be H1.2 treated with DPC between timber and concrete and fixed with m12 bolt hold downs at 900mm crs (600mm to masonry blockwork) and within 150mm of each end of the plate.

**1.03.32** All bottom plates to fire rated timber framed walls on concrete floor slabs to be H1.2 treated with DPC between timber and concrete and fixed with proprietary post fix anchors at 900mm crs (600mm to masonry blockwork) and within 150mm of each end of the plate.

**1.03.34** All bottom plates to timber framed walls (except fire rated walls) on timber sub/mid-floors to be H1.2 treated and fixed with hiandri beneath bottom plate and fixed as per NZS3604:2011, Table 8.19.

**1.03.41** All studs to be fixed to top plates with Lumberlok Fixings TYPE B. Refer to Lumberlok Fixings sheet for further details.

**1.03.61** Unless specified otherwise, nogs to timber framed walls are to be at 800mm crs.

**1.04.40** H mineral wool insulation is only required to RAB/RAB fire rated wall systems. All remaining insulation to RAB/Gib fire rated wall systems to be min R2.2.

**1.05.01** Gib wall lining to be installed horizontally.

**3** STRUCTURE BUILDING

**3.04.07** Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec: KIT01

**DHC Consulting Ltd** certifies part of the structure as per the enclosed design and producer statement for design. No other structure has been checked

DATE: 22/04/2022

**Auckland Council**

22 December 2022  
BCO10349237 - Lot 29 BCO10349400 - Lot 30  
BCO10349401 - Lot 31 BCO10349403 - Lot 32  
BCO10349404 - Lot 33

**APPROVED BUILDING CONSENT PLANS**

**NOTES**

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

### WALL LEGEND

- 90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls with studs @ 600mm crs (Uninsulated).
- 90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls with studs @ 600mm crs (Insulated).
- 70 series brick veneer tied to wall framing over a 50mm min vented cavity.
- FRR FRR wall to system noted. Wall studs as detailed above.
- KO FRR Korok FRR Fire Rated inter-tenancy wall to system noted with timber framed walls each side, studs as detailed above.
- DS Double stud. Double full height timber studs within wall framing.
- TS Triple stud. Triple full height timber studs within wall framing.

### LINTELS

- Lintels sized as per Lintel Schedule. Unless otherwise noted, all lintels are to be H1.2 hy90.
- SED nominated lintels have been sized by Engineer.
- Truss nominated lintels have been sized by Truss Designer.
- Unless otherwise noted, all lintel fixings are to be Lumberlok fixings. Refer to Lintel Fixings Options sheet for further information.
- Pack out lintels where required to suit wall framing thickness.

**Notes:**

- Openings dimensions are to opening box size. Allow for trimmed openings. Refer to window details for clarification.

### LINTEL SCHEDULE

Lintel	Size	Fixing
L1	2/90x45 SG8	Type G
L2	2/140x45 SG8	Type G
L3	2/190x45 SG8	Type G
L4	2/240x45 SG8	Type G
L5	2/290x45 SG8	Type G

### SED LINTEL SCHEDULE

L6	2/190x45 SG8	Type F
L13	200 PFC	SED
L15	2/290x45 SG8	Type G
L16	2/190x45 SG8	Type F

**Note: This Plan is to be read in conjunction with DHC Consulting Ltd structural drawings**

B2	B22	Bracing updated	18/07/22
BI	B21	Cladding changed	21/04/22
Rev	ChID	Revision	Date

**Classic Developments**

**construkt**

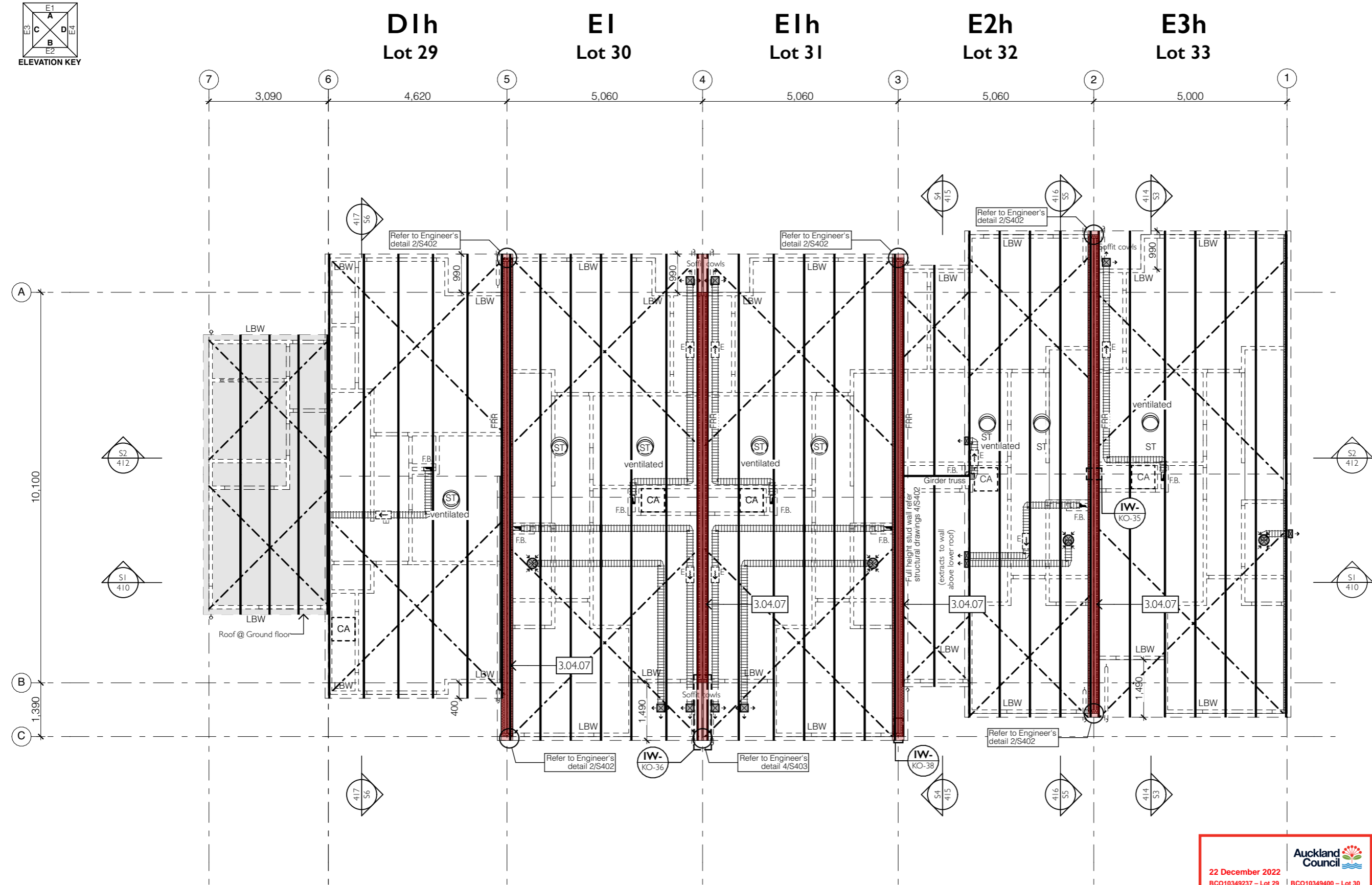
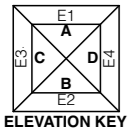
**I18 MANUROA ROAD**

**LEVEL 1 PARTITION SET OUT PLAN**

Scale @ A3: 1:100, 1:1  
Published: 28/07/22  
Status: BC ISSUE

Sheet: **331**  
Revision: **B2**  
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**BCO10349237 Received by Auckland Council 29/07/2022**



#### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

#### SITE INFO

Wind: Medium  
Exposure Zone: C (Medium)  
Earthquake: I

#### ROOF FRAMING LEGEND

- LBW Load bearing wall under.
- FRR FRR wall to system noted.  
90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls.
- KO FRR Korok FRR Fire Rated inter-tenancy wall to system noted with timber framed walls each side, studs as detailed above.

#### CEILING LEGEND

- ST Solatube: In ceiling through ceiling space. Hometec Solatube 160DS rooflight. Ventilated to bathroom without window.

#### MECHANICAL LEGEND

- Mechanical Riser flat duct: 220x90DN unless noted otherwise.
- Mechanical flexiduct circular: 150DN unless noted otherwise.
- CA Ceiling Access
- Extract Cowl: In soffit.
- Extract Cowl: On wall. (Stainless steel)
- Extract Fan: In ceiling.
- Inline Fan: In ceiling space.

#### PURLIN FIXINGS

Size	Span	Spacing	Fixing
70x45 (on flat)	900mm	900mm	Type T

T = 1/10g self-drilling screw, 80m long

#### Key Notes

- 3.04.07 STRUCTURE BUILDING  
Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec: KIT01
- 3.12.01 Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.
- 3.16.10 25x1 metal strap bracing in roof plane with 10 nails each end bent around roof or wall framing.

DHC Consulting Ltd certifies part of the structure as per the enclosed design and producer statement for design. No other structure has been checked

DATE: 22/04/2022

22 December 2022  
BCO10349237 - Lot 29 | BCO10349400 - Lot 30  
BCO10349401 - Lot 31 | BCO10349403 - Lot 32  
BCO10349404 - Lot 33

APPROVED  
BUILDING CONSENT PLANS

Note: This Plan is to be read in conjunction with DHC Consulting Ltd structural drawings

Note: This Plan is to be read in conjunction with Carter's Truss drawings

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



I18 MANUROA ROAD

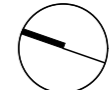
CLASSIC DEVELOPMENTS

ROOF FRAMING PLAN

Code: MANU  
Site: Lots 29-33  
Type: E & D

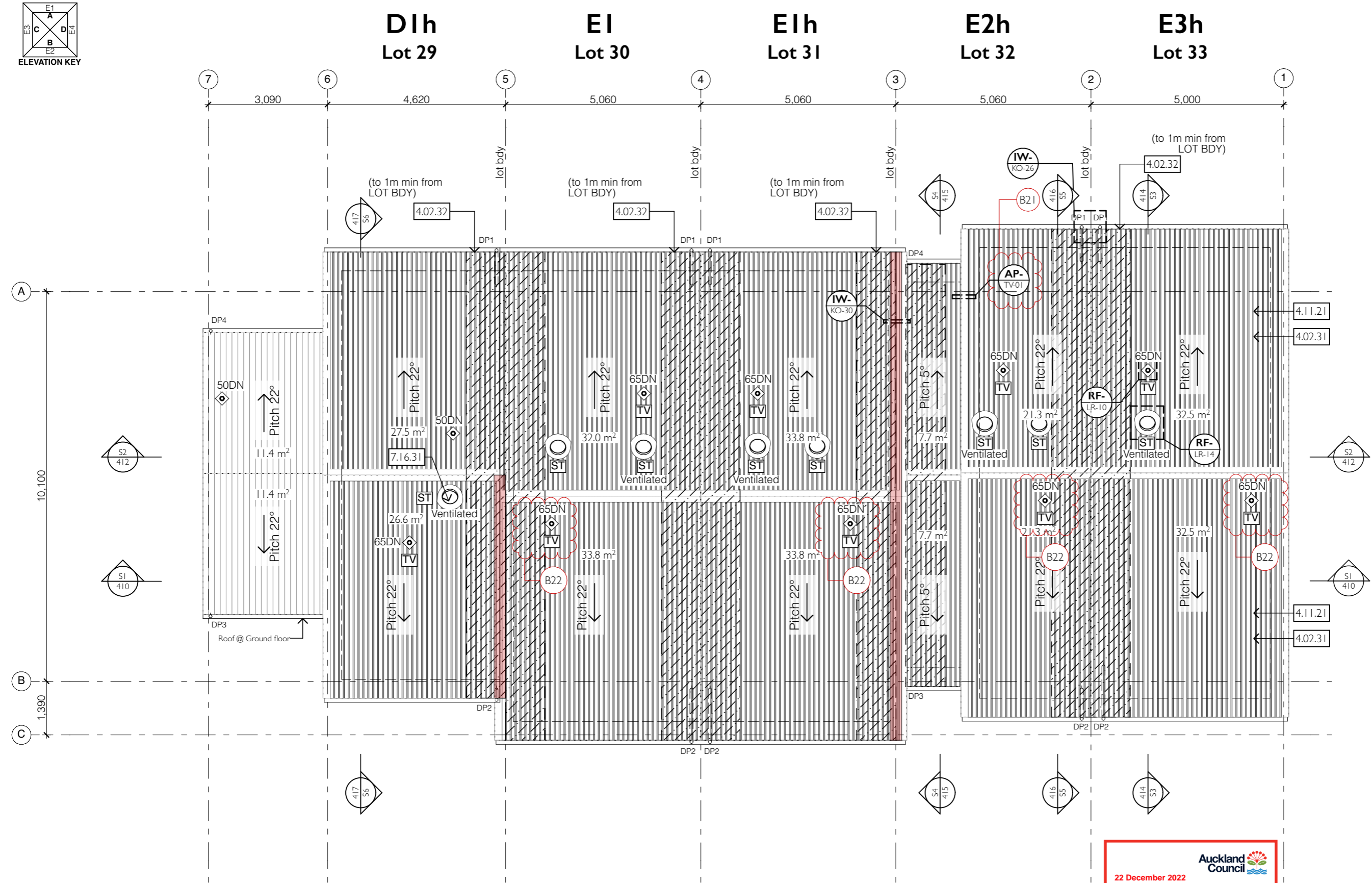
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Published: 28/07/22  
Status: BC ISSUE

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Sheet: 340  
Revision: B2  
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BCO10349237 Received by Auckland Council 29/07/2022



#### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

#### ROOF LEGEND

- DP Coloured round PVC downpipe.
- TV Terminal vent penetration through roof to size noted and Deklite flashing fitted diagonally.
- ST Solatube Daylighting System I60DS rooflight penetration through roof (with vents to bathrooms without window). Refer to Manufacturers documents.

Roof Plan areas serving Downpipes:  
Lot 33

DP1:	32.5m2
DP2:	32.5m2
Total:	65.0m2

Lot 32

DP1:	21.3m2
DP2:	21.3m2
DP3:	7.7m2
DP4:	7.7m2
Total:	58.0m2

Lot 31

DP1:	33.8m2
DP2:	33.8m2
Total:	67.6m2

Lot 30

DP1:	32.0m2
DP2:	33.8m2
Total:	65.8m2

Lot 29

DP1:	27.5m2
DP2:	26.6m2
DP3:	11.4m2
DP4:	11.4m2
Total:	76.9m2

FRR FRR wall to system noted.  
90x45mm (unless noted otherwise) H1.2 SG8 timber framed walls.

#### Key Notes

- 4 BUILDING ENVELOPE
- 4.02.31 Paul Industries Pauloid Bituminous self support underlay
- 4.02.32 Tyvek supro self support Fire Retardant roof underlay within 1000mm of Firewall
- 4.11.21 Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.

#### SERVICES

- 7.16.31 Hometec Solatube Daylighting System I60DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

B2	B22 Vent pipe added	18/07/22
B1	B21 Cladding changed	21/04/22
Rev	ChID Revision	Date



BCO10349237 Received by Auckland Council 29/07/2022

I18 MANUROA ROAD

#### ROOF PLAN

Code: MANUJ  
Site: Lots 29-33  
Type: E & D

Scale @ A3:

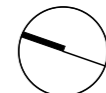
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28/07/22

BC ISSUE



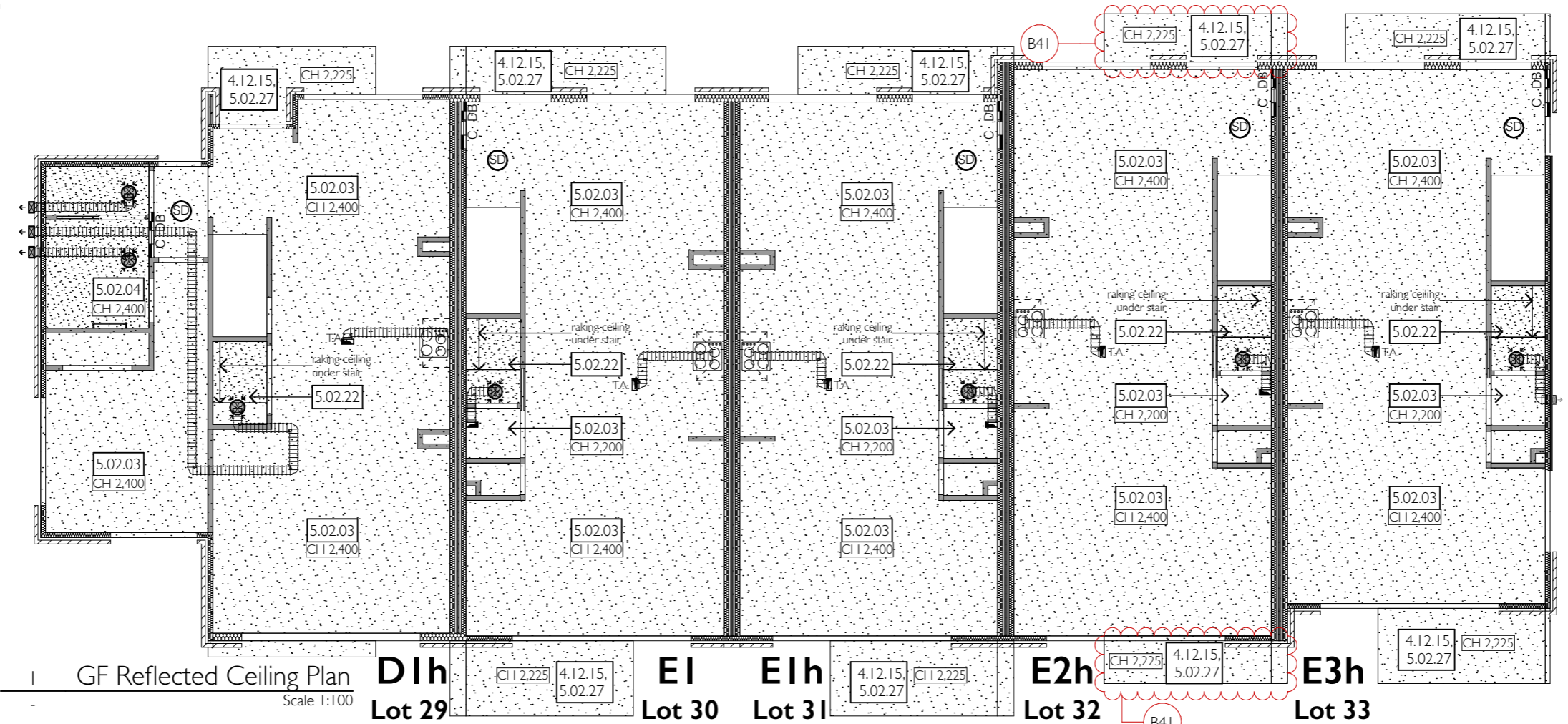
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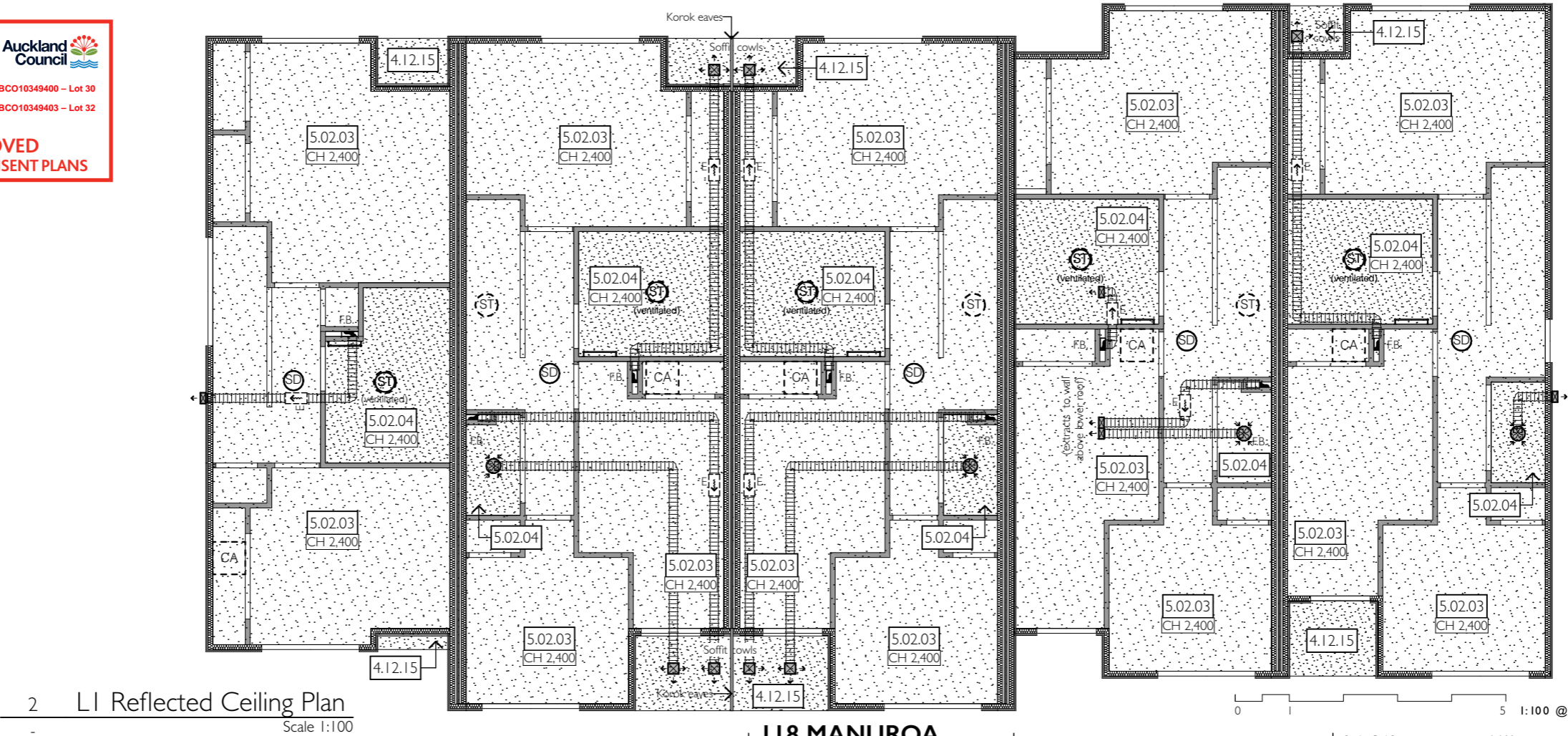
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Revision:

B2



22 December 2022  
BCO10349237 – Lot 29 BCO10349400 – Lot 30  
BCO10349401 – Lot 31 BCO10349403 – Lot 32  
BCO10349404 – Lot 33  
**APPROVED**  
**BUILDING CONSENT PLANS**



B4	B41	Fyreline added	21/12/22
B3	B31	FRR ceiling note added	15/12/22
B2			18/07/22
B1			21/04/22
Rev	ChID	Revision	Date

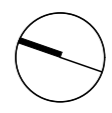


I18 MANUROA ROAD

REFLECTED CEILING PLANS

Code: MANUJ14 Site: Lots 29-33 Type: E & D

Scale @ A3: 1:100  
Published: 21/12/22  
Status: BC ISSUE



**NOTES**  
DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

**FIRE LEGEND**  
SD Domestic Smoke Alarm (Type 1): To comply with NZS4514-2009

**ELECTRICAL LEGEND**  
DB Combined Meter/Distribution Board: (335w x 765h x 80d)  
C Coms Hub: (500w x 894h x 90d)

**Notes:**  
- All electrical wiring to be in accordance with NZ Electrical Code of Practice & relevant NZ Codes  
- Install 20mm conduit in-ground (street to dwelling) to allow for future installation of fibre optic cable  
- All fittings within accessible routes and facilities are to be compliant with NZBC DI AS1 and NZS4121

**CEILING LEGEND**  
ST Solatube: In-ceiling through ceiling space. Hometec Solatube I60DS rooflight. Ventilated to bathroom without window.

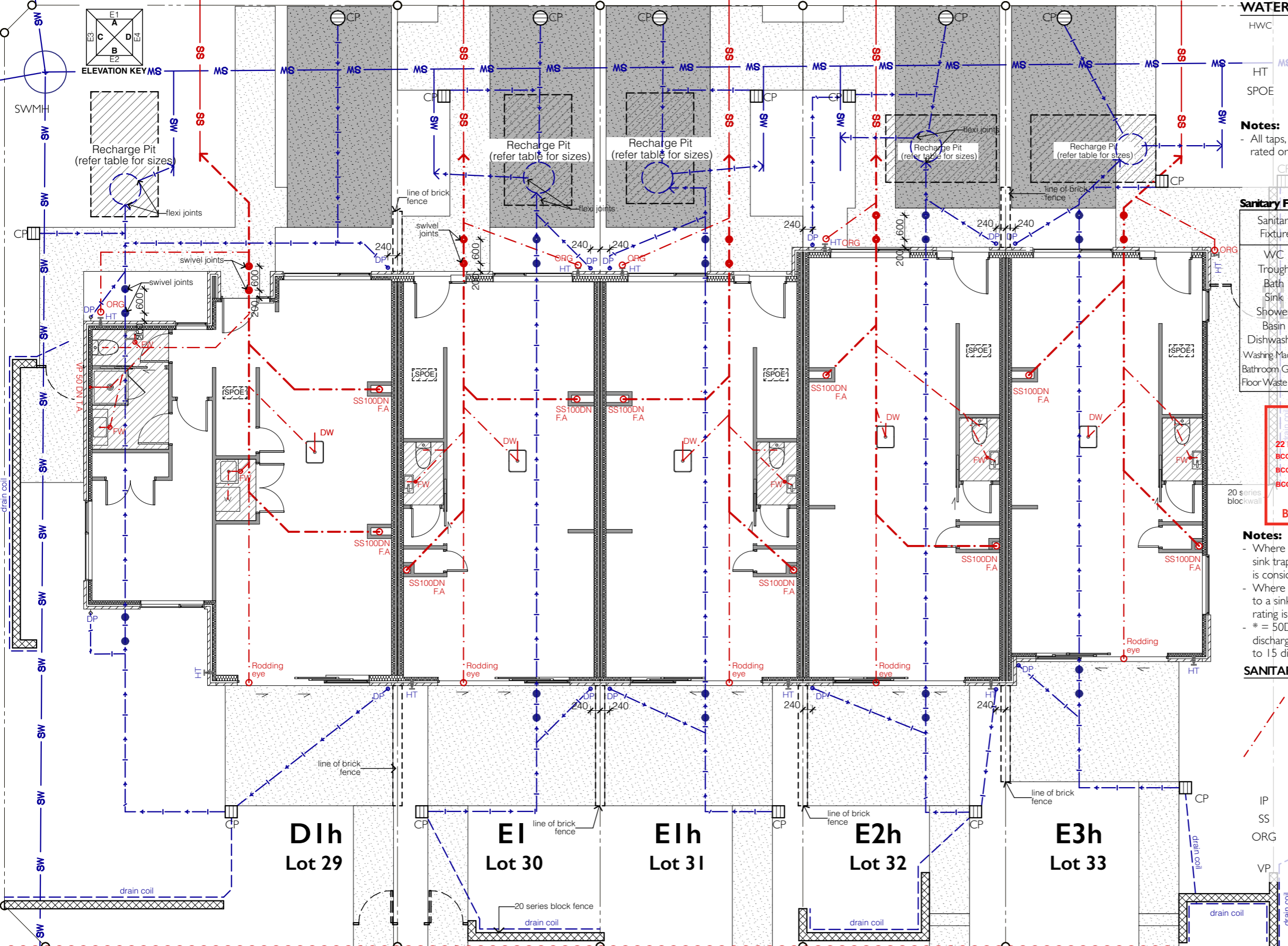
**MECHANICAL LEGEND**  
Mechanical Riser flat duct: 220x90DN unless noted otherwise.  
Mechanical flexiduct circular: 150DN unless noted otherwise.  
CA Ceiling Access  
Extract Cowl: In soffit.  
Extract Cowl: On wall.  
Extract Fan: In ceiling.  
Extract Rangehood: TBC.  
Inline Fan: In ceiling space.

**Notes:**  
- All mechanical extract ventilation to comply with AS1668.2 2012. Extract fans are 150DN and have a minimum flow rate of 100 L/s.

**Key Notes**  
**GENERAL NOTES**  
1.07.01 Refer to Roof Plan for services penetrations through roof.  
1.07.02 Client to confirm all reticulation and setting out of all Electrical, Lighting & Mechanical installations prior to commencement of works.

**4 BUILDING ENVELOPE**  
4.12.15 James Hardie 4.5mm Hardiflex soffit linings with uPVC jointers.

**5 INTERIORS**  
5.02.03 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.  
5.02.04 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.  
5.02.22 13mm GIB board Aqualine lining fixed to underside of stair stopped to a level 4 finish. Provide framing as necessary.  
5.02.27 16mm GIB board Fyreline lining fixed to timber ceiling battens at 600mm crs direct fix as required stopped to a level 4 finish.



### WATER SUPPLY

- HWC Hot water cylinder: Rheem 180 litre plumbed to house supply. Refer to manufacturers specs.
- HT Hose Tap. Locations tbc on site.
- SPOE Services point of entry to building (allowances).

### Notes:

- All taps, toilets and showers to be 3 star rated or better.

### Sanitary Fixtures Discharge Units & Sizes

Sanitary Fixture	Fixture Abbreviation	Min. size of trap outlet and discharge pipe DN	Fixture Unit Rating
WC	WC	80	6
Trough	T	40	5
Bath	Bth	40	4
Sink	B	40	3
Shower	Shr	40	2
Basin	B	32	2
Dishwasher	DW	40	3
Washing Machine	WM	40	5
Bathroom Group	BG		6
Floor Waste Gully	FW	50	0*

**22 December 2022**  
BCO10349237 - Lot 29 BCO10349400 - Lot 30  
BCO10349401 - Lot 31 BCO10349403 - Lot 32  
BCO10349404 - Lot 33

**APPROVED BUILDING CONSENT PLANS**

### Notes:

- Where a dishwasher is connected to a sink trap, only the sink fixture unit rating is considered.
- Where a washing machine is connected to a sink trap, only the sink fixture unit rating is considered.
- \* = 50DN min, 65 DN up to 10 discharge units (1 bath max), 80 DN up to 15 discharge units.

### SANITARY PLUMBING & DRAINAGE

Sanitary plumbing and drainage to comply with AS/NZS 3500 Single Stack Modified System: All below ground uPVC pipework to be 100DN unless noted otherwise. All below slab discharge pipes to be 65DN minimum. Lay to minimum falls.

- IP Inspection Point.
- SS Soil stack concealed in wall framing.
- ORG Overflow Relief Gully. uPVC fitting haunched into concrete.
- VP Vent pipe concealed in wall framing.

### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

### PUBLIC DRAINAGE LINES

- SW** Public Storm water line. Refer to Civil Engineers documents. Manholes denoted by SWMH.
- SS** Public Sanitary sewer line. Refer to Civil Engineers documents. Manholes denoted by SSMH.

### STORMWATER DRAINAGE

- Stormwater drainage to comply with NZBC E1/AS1: All below ground uPVC pipework to be 100DN unless noted otherwise. Lay to minimum falls.
- 100DN Nova coil drain. Connect to Catch Pit.
- IP** Inspection Point.
- DP** Marley uPVC RP80mm dia downpipe with sealed connection to stormwater drain at base.
- CP** Catch Pit. To comply with E1/AS1 type-one surface water sump, suitable for an area of 45m2 based on a rainfall intensity of 100mm/hr. Number and locations tbc on site.

### Notes:

- E3 compliance to kitchen achieved by tap max flow rate and sink overflow in lieu of floor waste and containment via waterproofing.
- Dishwasher and washing machine to have an automatic shut-off mechanism built in to prevent the appliance from overflowing and causing accidental overflow.

### SW Discharge Pipes Grades

Nominal size of graded pipe DN	minimum grade
90	1:90
100	1:120
150	1:200
225	1:350
300	1:350
375	1:350

### SS Discharge Pipes Min. Grades

Size of graded pipe DN	minimum grade %	minimum grade ratio
40, 50, 65	2.5	1:40
80, 100	1.65	1:60
125	1.25	1:80
150	1.0	1:100
225	0.65	1:150

FB = From Below FA = From Above  
TB = To Below TA = To Above

### WET AREAS

- WET AREAS
- WATERPROOF MEMBRANE FLOOR

### Key Notes

- GENERAL NOTES**
- 1.07.01** Refer to Roof Plan for services penetrations through roof.
- 1.07.04** Determine the location of all underground services before the commencement of work.

- Notes:**
- Private service line connections to all future dwellings should be flexible and be able to tolerate at least 150mm of vertical deflection arising from seasonal movement and settlement of the dwellings relative to the public services. In our experience, this can be easily achieved with the standard sleeved plumbing fittings. The gradient of the private service lines should be increased to ensure there is sufficient fall to accommodate the estimated dwelling settlement.
  - It is important that the geotechnical engineer is given the opportunity to review the dwelling foundation plans, to ensure that the above recommendations have been applied as intended.
  - External slab drainage to be installed at the end of the build to allow for maximum settlement to take place.

- Geotech confirmed that a local penetration of the crust layer (drainage trench for example) is ok, provided it is suitably wrapped with a non-woven geotextile (eg Bidim A29) and overlaps any existing placed non-woven geotextile by 1m. The backfill comprises of a fine aggregate (eg GAP7) up to subgrade level, then non-woven geotextile and hardfill under the entire slab area.

- Use Expanda fittings (or equivalent) on any vertical slab penetrations (where the pipe transitions at the base of slab), and on downpipes.

### Note:

Refer sheet 371 for RC pit sizes & IL's

### Note:

This Plan is to be read in conjunction with AR&R's documents

B4	B41	Notes added	21/12/22
B3	B31	Plumbing and drainage layout updated	15/12/22
B2	B23	Plumbing annotation added	18/07/22
Rev	ChID	Revision	Date

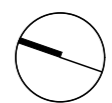


I18 MANUROA ROAD

### GROUND FLOOR PLUMBING & DRAINAGE PLANS

Code: MANUJ Site: Lots 29-33 Type: E & D

Scale @ A3: 1:100  
Published: 21/12/22  
Status: BC ISSUE



Sheet: **370**  
Revision: **B4**  
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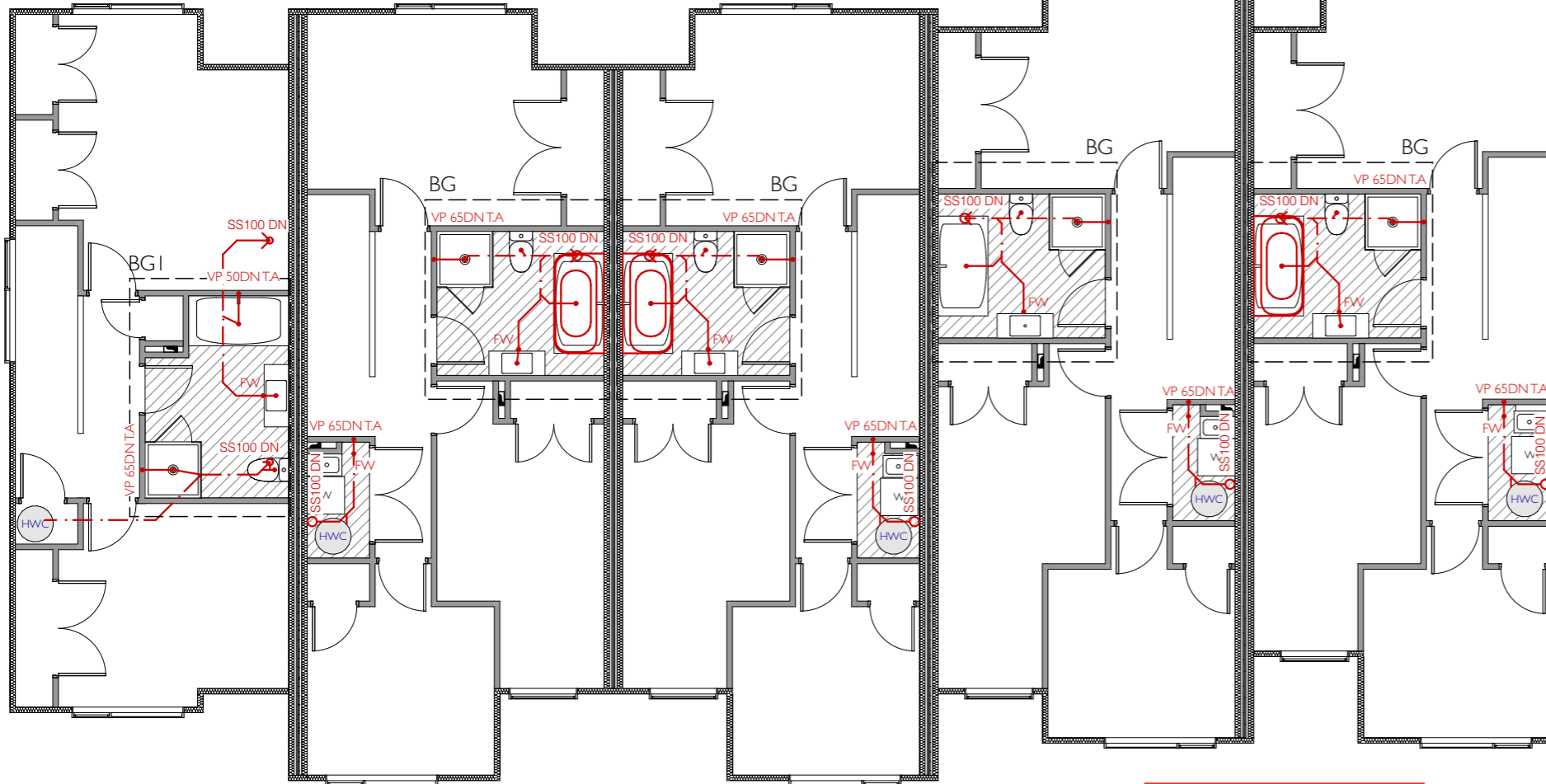
**D1h**  
**Lot 29**

**E1**  
**Lot 30**

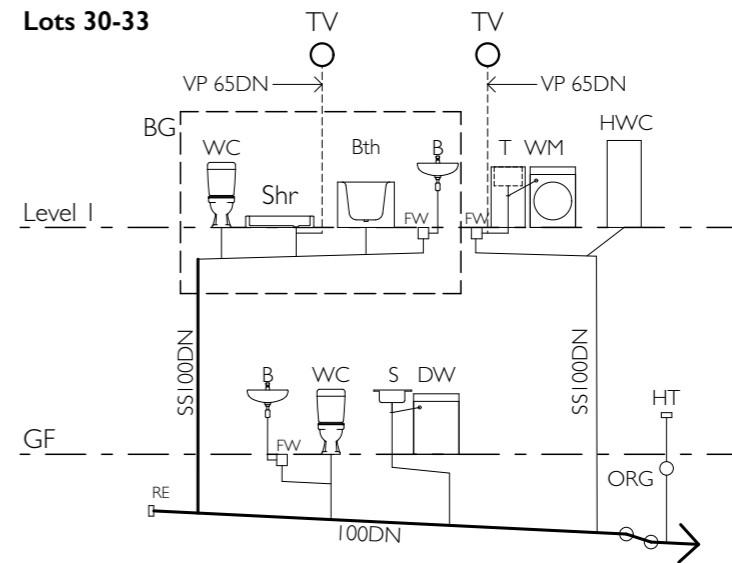
**E1h**  
**Lot 31**

**E2h**  
**Lot 32**

**E3h**  
**Lot 33**



**Lots 30-33**



**NOTES**

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

**SANITARY PLUMBING & DRAINAGE**

Sanitary plumbing and drainage to comply with AS/NZS 3500 Single Stack Modified System: All below ground uPVC pipework to be 100DN unless noted otherwise. All below slab discharge pipes to be 65DN minimum. Lay to minimum falls.

IP Inspection Point.  
SS Soil stack concealed in wall framing.  
ORG Overflow Relief Gully, uPVC fitting haunched into concrete.  
VP Vent pipe concealed in wall framing.

**Sanitary Fixtures Discharge Units & Sizes**

Sanitary Fixture	Fixture Abbreviation	Min. size of trap outlet and discharge pipe DN	Fixture Unit Rating
WC	WC	80	6
Trough	T	40	5
Bath	Bth	40	4
Sink	B	40	3
Shower	Shr	40	2
Basin	B	32	2
Dishwasher	DW	40	3
Washing Machine	WM	40	5
Bathroom Group	BG		6
Floor/Waste Gully	FW	50	0*

**Notes:**

- Where a dishwasher is connected to a sink trap, only the sink fixture unit rating is considered.
- Where a washing machine is connected to a sink trap, only the sink fixture unit rating is considered.
- \* = 50DN min, 65 DN up to 10 discharge units (1 bath max), 80 DN up to 15 discharge units.

**SS Discharge Pipes Min. Grades**

Size of graded pipe DN	minimum grade %	minimum grade ratio
40, 50, 65	2.5	1:40
80, 100	1.65	1:60
125	1.25	1:80
150	1.0	1:100
225	0.65	1:150

**WATER SUPPLY**

HWC Hot water cylinder: Rheem 180 litre plumbed to house supply. Refer to manufacturers specs.

**Notes:**

- All taps, toilets and showers to be 3 star rated or better.

**WET AREAS**

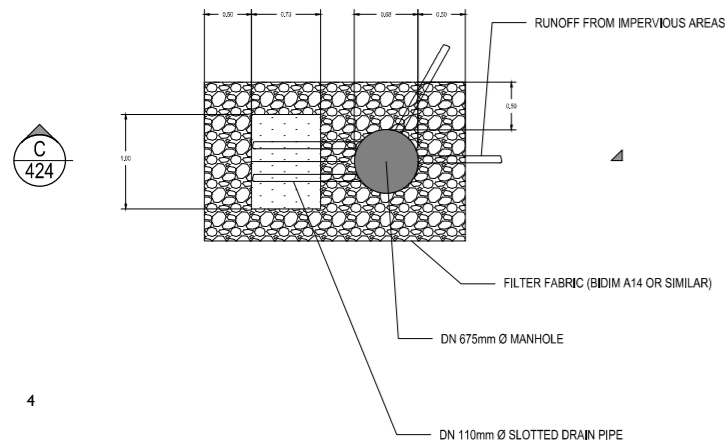
WET AREAS  
WATERPROOF MEMBRANE FLOOR

**Key Notes**

- 1.07.01 Refer to Roof Plan for services penetrations through roof.
- 1.07.04 Determine the location of all underground services before the commencement of work.

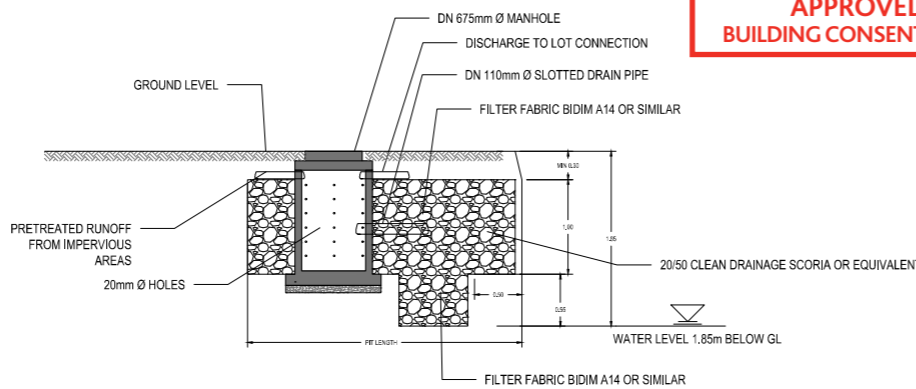
**1 Level 1 Plumbing & Drainage Plan**

Scale 1:100



**3 Typical Recharge Pit Detail**

NTS



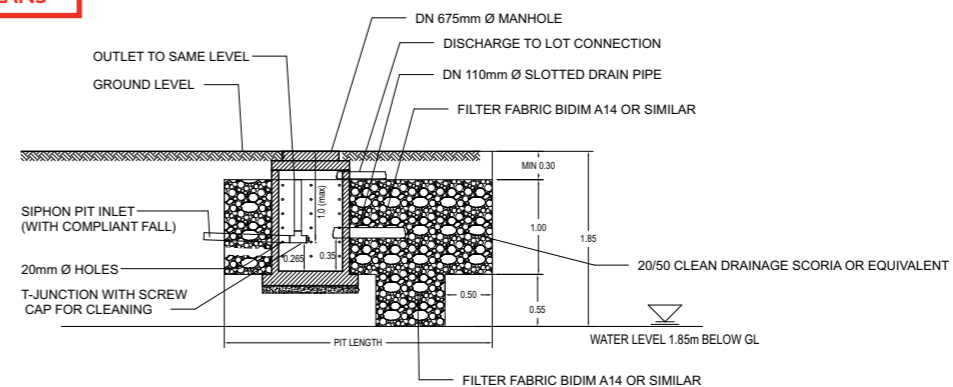
**4 Typical Recharge Pit Section**

NTS



**2 Plumbing & Drainage Schematics**

Scale 1:100



**5 Typical Recharge Pit Section - under slab pipe**

NTS

**Note: This Plan is to be read in conjunction with AR&R's documents**

Private Recharge Pit Dimensions - Stage 1 New Width										
Recharge Pit ID	Impervious Area	Pit Min. Width	Pit Width*	Pit Min. Length	Trench Length	Surface Area	Size	Outlet IL	Sofit of Public SW Pipe at lateral	Sofit of Public WW Pipe at lateral
PRP LOT 29	123	1.24	1.68	3.09	0.90	5.20	Size C	18.79	17.48	17.03
PRP LOT 30	94	1.07	1.68	2.67	0.68	4.49	Size B	18.81	17.52	17.08
PRP LOT 31	98	1.09	1.68	2.73	0.71	4.59	Size B	18.81	17.57	17.14
PRP LOT 32	99	1.10	1.68	2.75	0.72	4.62	Size B	18.81	17.58	17.16
PRP LOT 33	105	1.14	1.68	2.84	0.76	4.77	Size C	18.82	17.63	17.25

B3	B31	Recharge pit detail for under slab pipes added	15/12/22
B2	B24	Lot number rectified	18/07/22
Rev	B23	Vent pipe added	
ChID	Revision		Date



BCO10349237 Received by Auckland Council 16/12/2022

**I18 MANUROA ROAD**

CLASSIC DEVELOPMENTS

**I1 PLUMBING & DRAINAGE PLAN & SCHEMATICS**

Code: MANU Site: Lots 29-33 E & D Type: E & D

Scale @ A3:100, I:0.7044, I:79.8855

Published: 15/12/22

Status: BC ISSUE

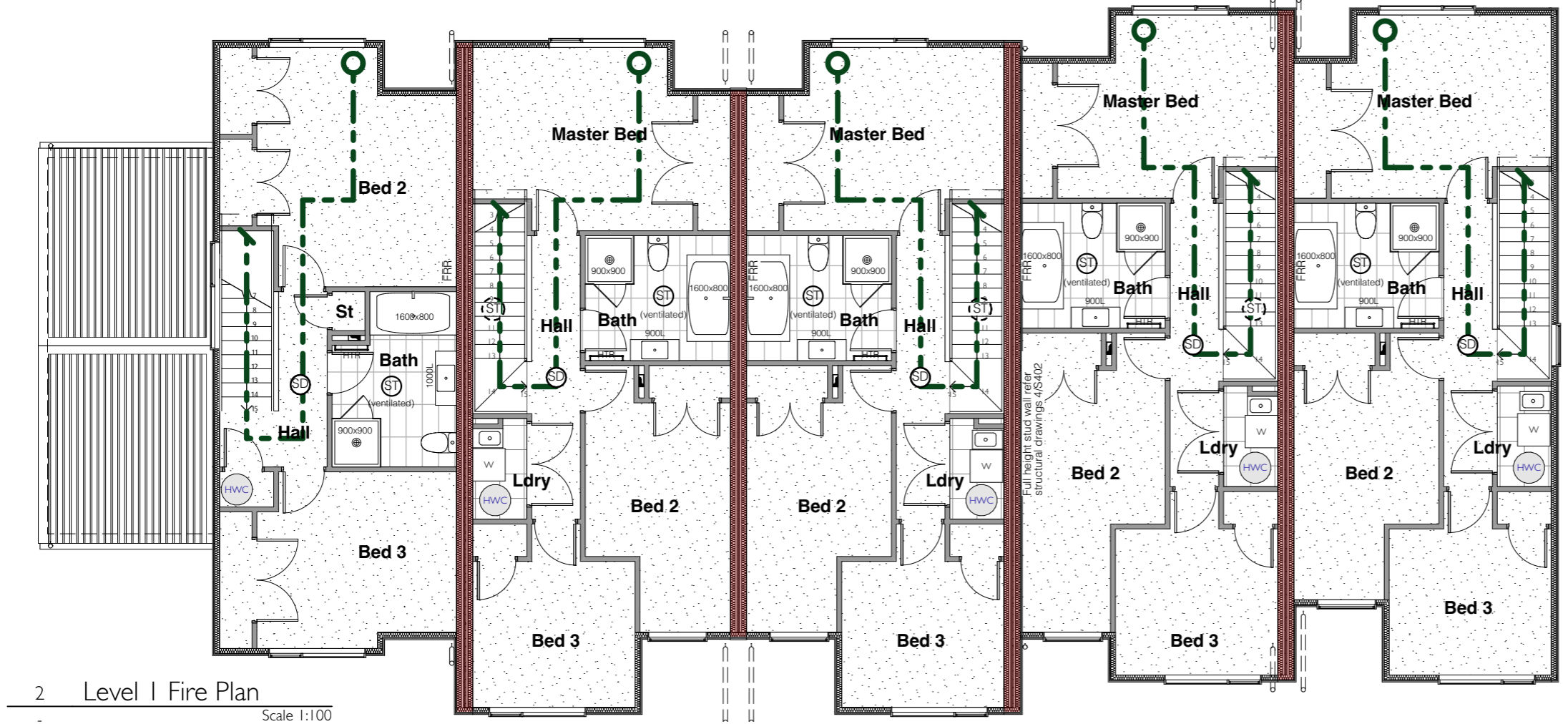
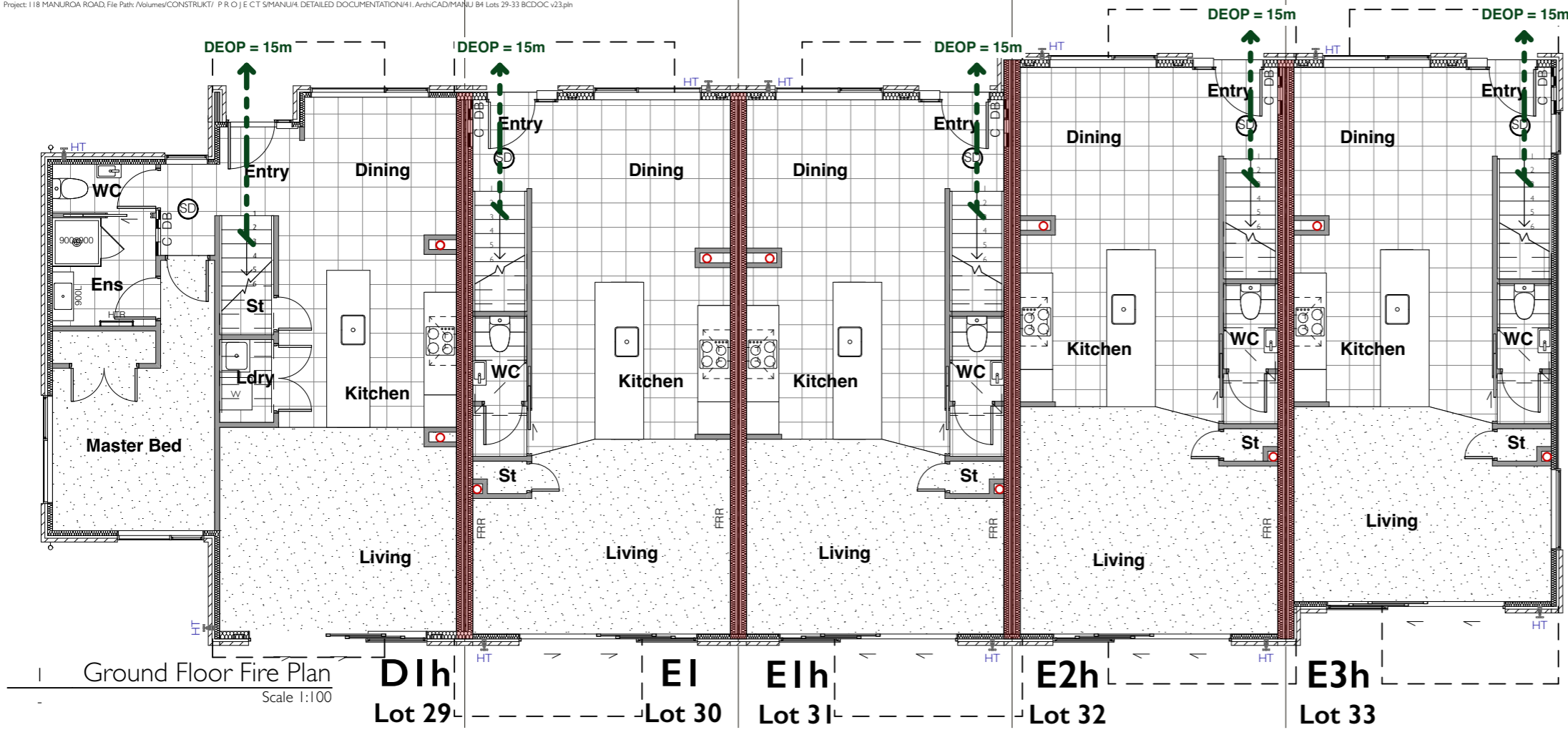
Sheet:

**371**

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Revision:

**B3**



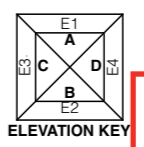
B2	18/07/22
B1	21/04/22
Rev	ChID Revision Date



I18 MANUROA ROAD  
CLASSIC DEVELOPMENTS

### FIRE PLANS

Code: MANUJ  
Site: Lots 29-33  
Type: E & D



22 December 2022

BCO10349237 – Lot 29

BCO10349401 – Lot 31

BCO10349404 – Lot 33

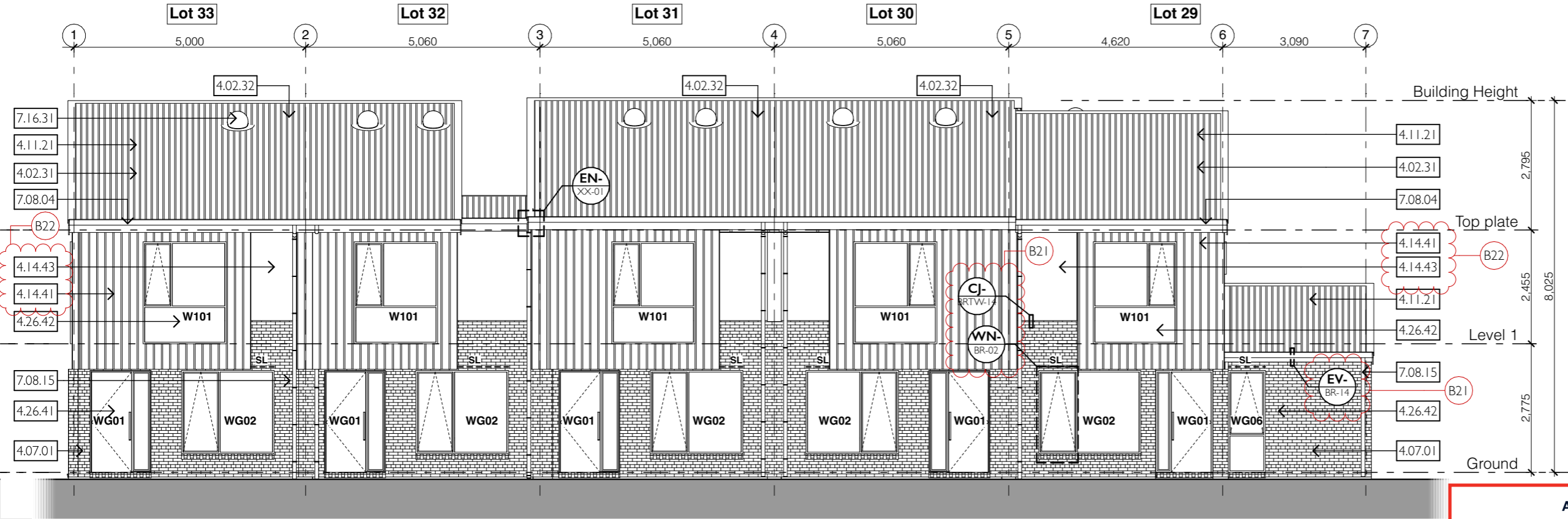
BCO10349400 – Lot 30

BCO10349403 – Lot 32

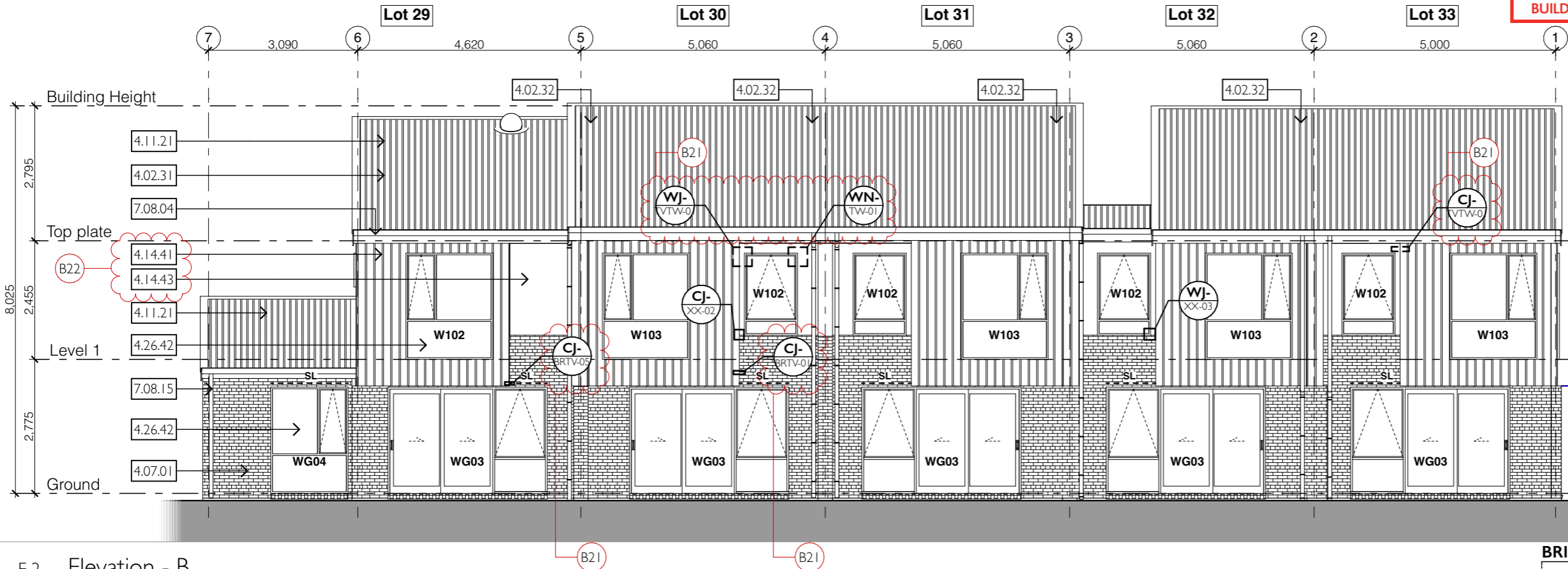
Auckland Council

APPROVED BUILDING CONSENT PLANS

NOTES	
DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK	
FIRE LEGEND	
	Domestic Smoke Alarm (Type 1): To comply with NZS4514-2009
	FRR wall to system noted. Wall studs as detailed above.
	Korok FRR Fire Rated inter-tenancy wall to system noted with timber framed walls each side, studs as detailed above.
1	FIRE DETECTION, WARNING SYSTEMS
1.1	Alarm / Detection Systems Requirements
1.1.1	A new Type 1 fire alarm system is required to be installed throughout the buildings in accordance with NZS 4512:2010.
1.1.2	Smoke alarms are to be provided in the bedrooms and associated egress paths of each accommodation household unit in accordance with F7/AS1. The smoke alarms:
<ul style="list-style-type: none"><li>shall comply with the requirements of F7/AS1,</li><li>may be battery powered or alternatively be 230V hard wired,</li><li>may be interconnected within the household unit,</li><li>may include a hush facility,</li></ul>	
<ul style="list-style-type: none"><li>shall be listed or approved with at least one of the following: UL 217, CAN/ULC S531, AS 3786:1993, or BS 5446:Part 1.</li></ul>	
It is recommended that the smoke alarms are photo-electric type.	
2	ESCAPE ROUTE REQUIREMENTS
2.1	Dimensions
2.1.1	Each household unit is able to egress directly outside via independent egress routes. Occupants are then be able to egress from the site via the access connected to front road. The clear height of escape routes shall be no less than 2100 mm across the full width (except for isolated ceiling fittings less than 200 mm in diameter, which may project downwards to reduce this clearance by no more than 100 mm).
2.1.2	All doors on escape routes shall have a clear height of no less than 1955 mm for the required width of the opening, open onto a level floor area on both sides of the door, and where side hinged shall open no less than 90° and the door swing shall not reduce the width of any escape route.
2.2	General
2.2.1	All egress routes are to remain clear and unobstructed at all time.
2.2.2	For means of escape provisions, all manually operated doors on escape routes shall have door handles complying with D1/AS1 and door opening forces that do not exceed 67 N to release the latch, 133 N to set the door in motion, and 67 N to open the door to the minimum required width.
3	CONTROL OF INTERNAL HAZARDS INCLUDING SURFACE FINISH REQUIREMENTS
3.1.1	Any foamed plastic building materials or exposed combustible insulating materials forming part of a wall, ceiling or roof system are required to have a completed system (foamed plastic and/or foamed plastic plus a surface lining) meeting the above maximum material group number as applicable for the location of this building material. In addition, the foamed plastic is to meet the flame propagation criteria as specified in latest versions of AS 1366. It is strongly recommended that foamed plastic materials are not used.
4	FIRE AND SMOKE SEPARATIONS
4.1	Internal Passive Fire and Smoke Separations
4.1.1	The inter-tenancy wall between household units are fire rated to (30)/30/30 sm.
4.1.2	All penetrations through these fire separations (created by wires, cables, pipes, flush boxes, etc.) or any gaps, or control joints, that are created or uncovered as part of these works are required to be fire stopped with systems (collars, wraps, sleeves, mastics, etc.) that are approved for the proposed use (e.g. rating, orientation, penetration type, construction type) in accordance with AS 1530.4 2005 and AS 4072.1:2005. Fire stopping systems are required to be installed strictly in accordance with the manufacturer's instructions.
Penetrations shall be supported to resist movement or collapse during fire. Supports shall not prevent normal expansion and contraction of the penetration.	
4.1.3	The Structural Engineer is required to identify primary elements that provide support to the fire rated construction. Primary elements shall either:
<ul style="list-style-type: none"><li>Inherently achieve the structural adequacy, integrity, and insulation component of the fire rating as appropriate, or</li></ul>	
Have applied treatment or fire protection to achieve the adequacy component of the fire rating as appropriate.	
5	EXTERNAL WALL REQUIREMENTS
5.1	External Wall Cladding Restrictions
5.1.1	There are no restrictions on external wall cladding systems that are more than 1 metre from the boundary.
6	FIRE AND EMERGENCY NEW ZEALAND (FENZ)
6.1	Access
6.1.1	There is no requirement for FENZ access as the household unit is closed to the street boundaries.
Scale @ A3: 1:1,7990, 1:100	
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Revision: B2	
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E1 Elevation - A  
330 Scale 1:100



E2 Elevation - B  
330 Scale 1:100

#### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

#### Key Notes

- 4 BUILDING ENVELOPE
- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.02.32** Tyvek supro self support Fire Retardant roof underlay within 1000mm of Firewall
- 4.07.01** 70 series brick veneer tied to wall framing over a 40mm min vented cavity (120mm rebate depth) fixed with wall ties as per Think Brick TB1.
- 4.11.21** Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.14.43** WeatherTex Weathergroove Smooth 600/1200 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.26.41** Latitue TGV entrance door with Secunraft combo set (door knob and deadlock)
- 4.26.42** APL suites. Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.

#### 7 SERVICES

- 7.08.04** Multiline Colorsteel fascia, Customline Colorsteel spouting.
- 7.08.15** Coloured round PVC downpipe.
- 7.16.31** Hometec Solatube Daylighting System 160DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

#### BUILDING ENVELOPE RISK MATRIX

##### Elevation - A

Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	High risk	2
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	High risk	3
Deck design	Low risk	0
<b>Total Risk Score:</b>		<b>15</b>

#### BUILDING ENVELOPE RISK MATRIX

##### Elevation - B

Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	High risk	2
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	High risk	3
Deck design	Low risk	0
<b>Total Risk Score:</b>		<b>15</b>

#### BRICK STEEL LINTELS

Lintel	Size	Method	Fixing	Crs	Treatment
SL1	80x6 EA	I	n/a	n/a	Hot-dip galv

All brick steel lintels are sized by Think Brick TB1 manual.

0 1 5 I:100 @A3

B2	B22	Updated Keynote	18/07/22
B1	B21	Cladding changed	21/04/22
Rev	ChID	Revision	Date



I18 MANUROA ROAD

CLASSIC DEVELOPMENTS

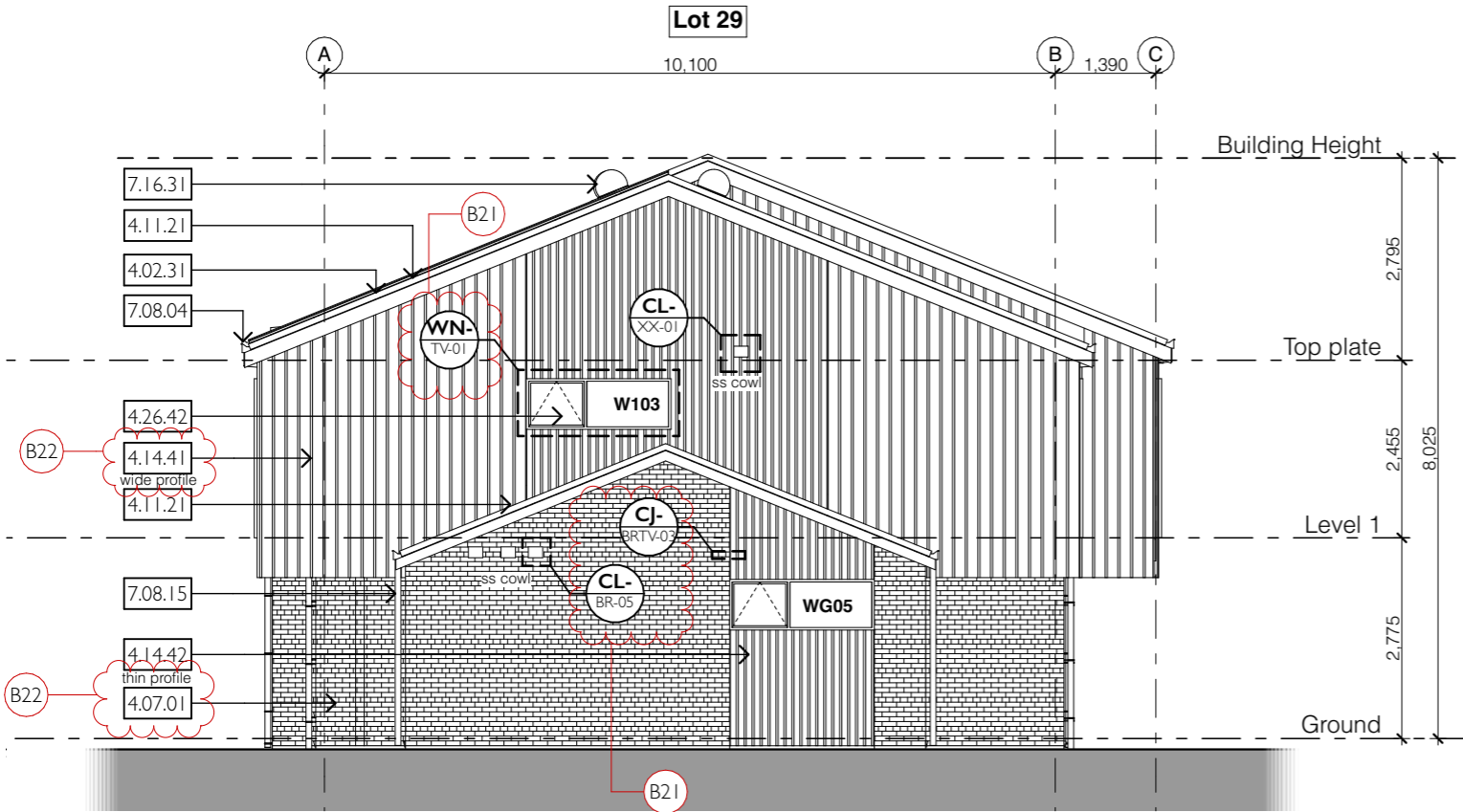
#### ELEVATIONS

Code: MANUJ4 Site: Lots 29-33 Type: E & D

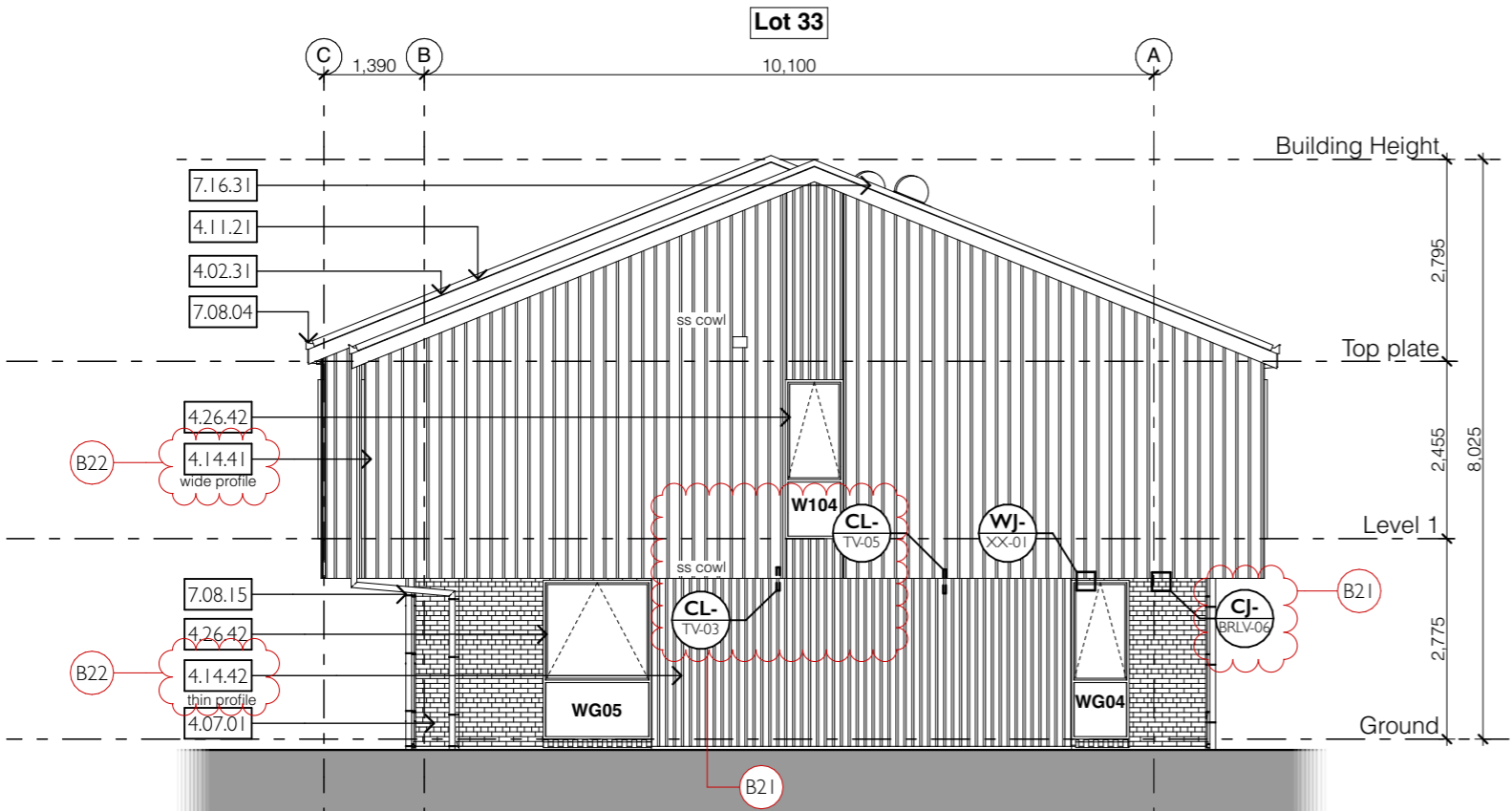
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E 3 ELEVATION - C  
330 Scale 1:100



E 4 ELEVATION - D  
330 Scale 1:100

BUILDING ENVELOPE RISK MATRIX		
Elevation - C		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	High risk	2
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	High risk	3
Deck design	Low risk	0
Total Risk Score:		15

BUILDING ENVELOPE RISK MATRIX		
Elevation - D		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Medium risk	0
Number of storeys	High risk	2
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	High risk	3
Deck design	Low risk	0
Total Risk Score:		15

#### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

#### Key Notes

- 4 BUILDING ENVELOPE
- 4.02.31 Paul Industries Pauloid Bituminous self support underlay
- 4.07.01 70 series brick veneer tied to wall framing over a 40mm min vented cavity (120mm rebate depth) fixed with wall ties as per Think Brick TB1.
- 4.11.21 Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.
- 4.14.41 WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.14.42 WeatherTex Weathergroove Smooth 150 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.26.42 APL suites Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.
- 7 SERVICES
- 7.08.04 Multiline Colorsteel fascia, Customline Colorsteel spouting.
- 7.08.15 Coloured round PVC downpipe.
- 7.16.31 Hometec Solatube Daylighting System 160DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.



B2	B22	Updated Keynote	18/07/22
B1	B21	Cladding changed	21/04/22
Rev	ChID	Revision	Date



118 MANUROA ROAD

CLASSIC DEVELOPMENTS

#### ELEVATIONS

Code: MANU Site: Lots 29-33 Type: E & D

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COMMENCING WORK

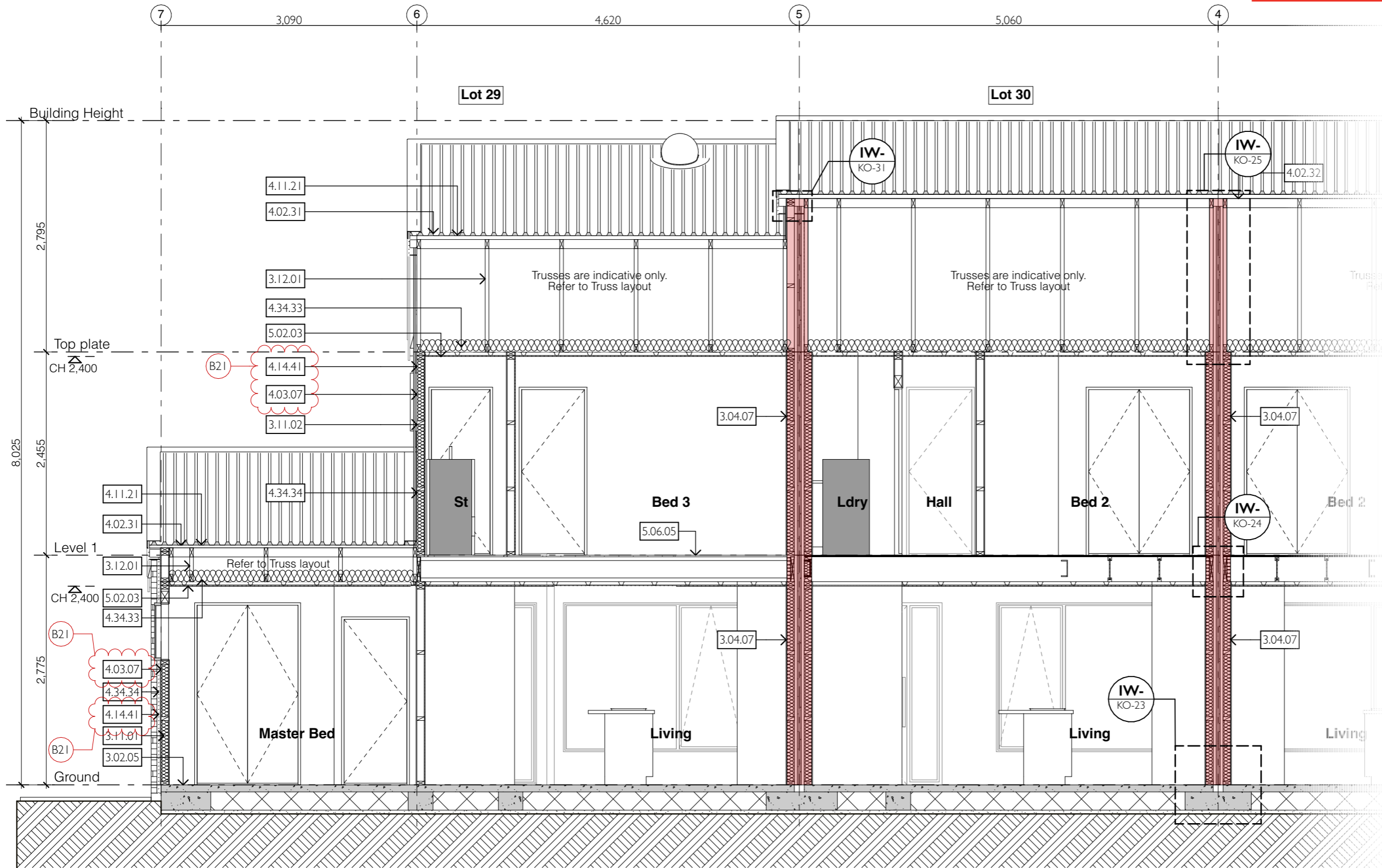
## Key Notes

- ### 3 STRUCTURE BUILDING
- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.
- 3.04.07** Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec: KIT01
- 3.11.01** 90x45mm H1.2 SG8 timber framed walls with studs at 400mm crs.
- 3.11.02** 90x45mm H1.2 SG8 timber framed walls with studs at 600mm crs.
- 3.12.01** Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.

- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.02.32** Tyvek supro self support Fire Retardant roof underlay within 1000mm of Firewall
- 4.03.07** Frame Protection System (FPS) Weatheright System Eurotop walk underlay. Install to manufacturers instructions
- 4.11.21** Steel & tube plumbed profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fitted to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates
- 4.34.33** Eco R3.6 batts ceiling insulation.
- 4.34.34** Eco R2.2 to all external walls, including internal garage walls.

**5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.

**5.06.05** 19mm treated plywood flooring, H3 treated to wet areas only.



SI Cross Section I

330 Scale 1:50

B2	B2I	Updated Keynote	18/07/22
B1			21/04/22
<b>Rev</b>	<b>ChID</b>	<b>Revision</b>	<b>Date</b>



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118 MANUROA  
ROAD

## SECTION I-I

Code: **MANU** Site: **29/07/2022** Type: **E & D**  
 Lots 29-33

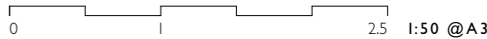
Scale @ A3: 1:50

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Sheet: **410** Revision: **B2**

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ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK

### 3 STRUCTURE BUILDING

- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.
- 3.04.07** Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec: KIT01
- 3.11.01** 90x45mm H.I.2 SGB timber framed walls with studs at 400mm crs.
- 3.11.02** 90x45mm H.I.2 SGB timber framed walls with studs at 600mm crs.
- 3.12.01** Prefabricated H.I.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.
- 3.20.02** 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.02.32** Tyvek supro self support Fire Retardant roof underlay within 1000mm of Firewall
- 4.03.07** Frame Protection System (FFS) Weathertight System Eurotop wall underlay. Install to manufacturers instructions
- 4.11.21** Steel & tube pldmdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm c/s. with nogs fitted between the studs at max. 800mm c/s. between top and bottom plates.
- 4.34.33** Eco R3.6 batts ceiling insulation.
- 4.34.34** Eco R2.2 to all external walls, including internal garage walls.

**5.01.01** 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.

**5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.

**Auckland Council**

**22 December 2022**

**BCO10349237 – Lot 29      BCO10349400 – Lot 30**

**BCO10349401 – Lot 31      BCO10349403 – Lot 32**

**BCO10349404 – Lot 33**

**APPROVED**

**BUILDING CONSENT PLANS**



B2	B22	Updated Keynote	18/07/22
	B2I	Cladding changed	
B1			21/04/22
<b>Rev</b>	<b>ChID</b>	<b>Revision</b>	<b>Date</b>



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BC010349237 Received by Auckland Council 29/07/2022

118 MANUROA  
ROAD

## SECTION 1-2

Code: **MANU** Site: **29/07/2022** Type: **E & D**  
 Lots: 29-33

Scale @ A3:	1:50, 1:1
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Sheet: **411** Revision: **B2**

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NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

Key Notes

- 3 STRUCTURE BUILDING
- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.
- 3.04.07** Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec KIT01
- 3.11.01** 90x45mm H1.2 SG8 timber framed walls with studs at 400mm crs.
- 3.11.02** 90x45mm H1.2 SG8 timber framed walls with studs at 600mm crs.
- 3.12.01** Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.

4 BUILDING ENVELOPE

- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.02.32** Tyvek supro self support Fire Retardant roof underlay within 1000mm of fire wall
- 4.03.07** Frame Protection System (FPS) Weathertight System Eurotop wall underlay. Install to manufacturers instructions
- 4.07.01** 70 series brick veneer tied to wall framing over a 40mm min vented cavity (120mm rebate depth) fixed with wall ties as per Think Brick TB1.
- 4.11.21** Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.26.42** APL suites Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.
- 4.34.33** Eco R3.6 batts ceiling insulation.
- 4.34.34** Eco R2.2 to all external walls, including internal garage walls.

5 INTERIORS

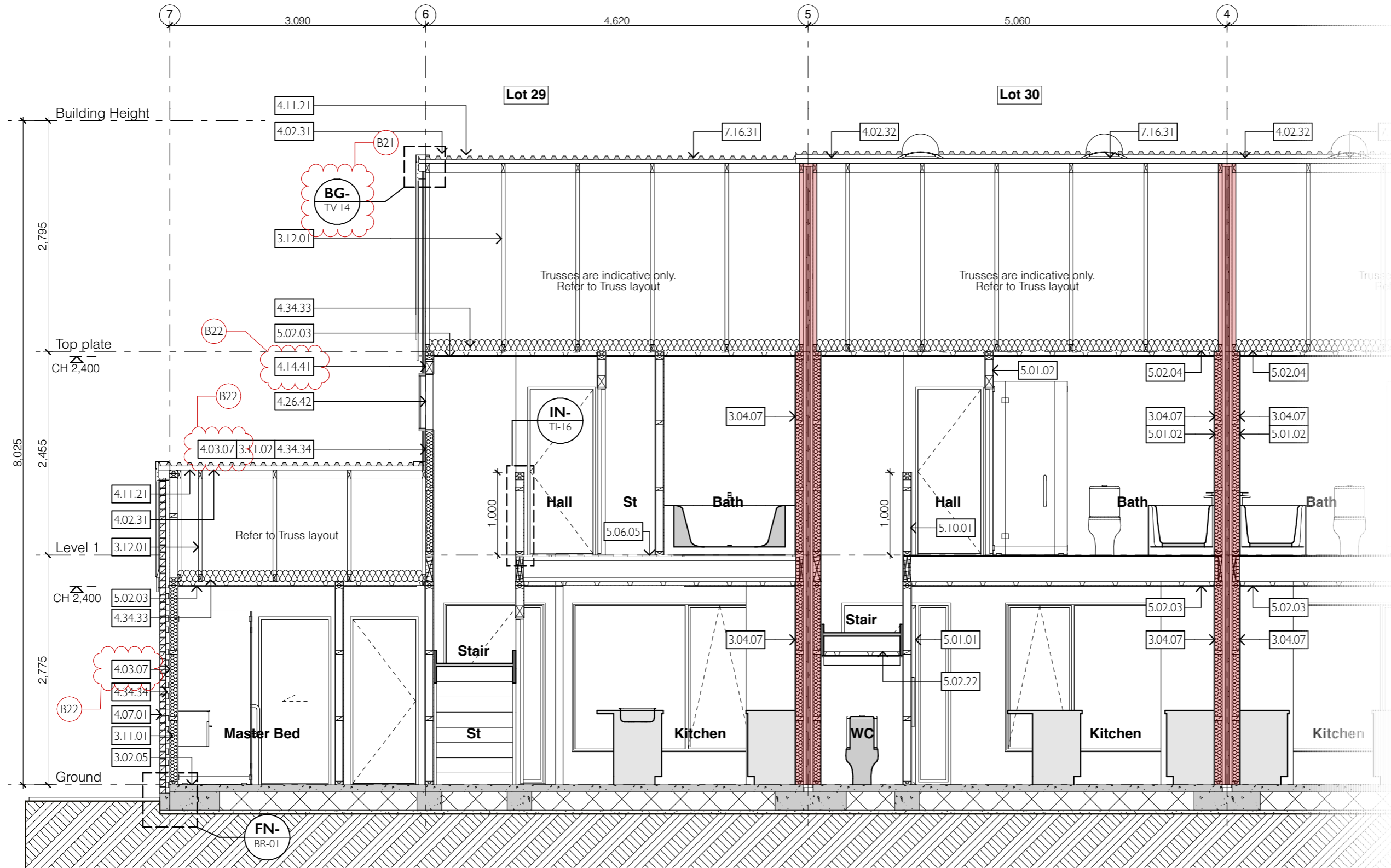
- 5.01.01** 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.
- 5.01.02** 10mm GIB board Aqualine lining to wet areas direct fixed to framing stopped to a level 4 finish.
- 5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.04** 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.22** 13mm GIB board Aqualine lining fixed to underside of stair stopped to a level 4 finish. Provide framing as neccessary.
- 5.06.05** 19mm treated plywood flooring H3 treated to wet areas only.
- 5.10.01** Interior timber balustrade. Refer to Architectural details.

7 SERVICES

- 7.16.31** Hometec Solatube Daylighting System 160DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

STAIR INFORMATION

- GF to Lvl 1:
- Main Private Stair with handrail to inside
  - 2775mm flight
  - 15 closed risers @ 185mm
  - 280mm tread (260mm going)
  - 1000mm wide



S2 Cross Section 2  
330 Scale 1:50

B2	B22	Updated Keynote	18/07/22
B2	B21	Cladding changed	
BI			21/04/22
Rev	ChID	Revision	Date

22 December 2022

BCO10349237 – Lot 29 BCO10349400 – Lot 30

BCO10349401 – Lot 31 BCO10349403 – Lot 32

BCO10349404 – Lot 33

**APPROVED  
BUILDING CONSENT PLANS**



NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

Key Notes

- 3 STRUCTURE BUILDING**
- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.
- 3.04.07** Korok FRR 60/60/60 Fire Rated two way internal wall system 51mm Korok panels, R2.2 insulation and GIB board lining internally. Refer to Architectural details for further information. Spec KIT01
- 3.11.01** 90x45mm H1.2 SG8 timber framed walls with studs at 400mm crs.
- 3.11.02** 90x45mm H1.2 SG8 timber framed walls with studs at 600mm crs.
- 3.12.01** Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.
- 3.20.02** 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

**4 BUILDING ENVELOPE**

- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.02.32** Tyvek supro self support Fire Retardant roof underlay within 1000mm of Fire wall
- 4.03.07** Frame Protection System (FPS) Weatheright System Eurotop wall underlay. Install to manufacturers instructions
- 4.07.01** 70 series brick veneer tied to wall framing over a 40mm min vented cavity (120mm rebate depth) fixed with wall ties as per Think Brick TB1.
- 4.11.21** Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates
- 4.34.33** Eco R3.6 batts ceiling insulation.
- 4.34.34** Eco R2.2 to all external walls, including internal garage walls.

**5 INTERIORS**

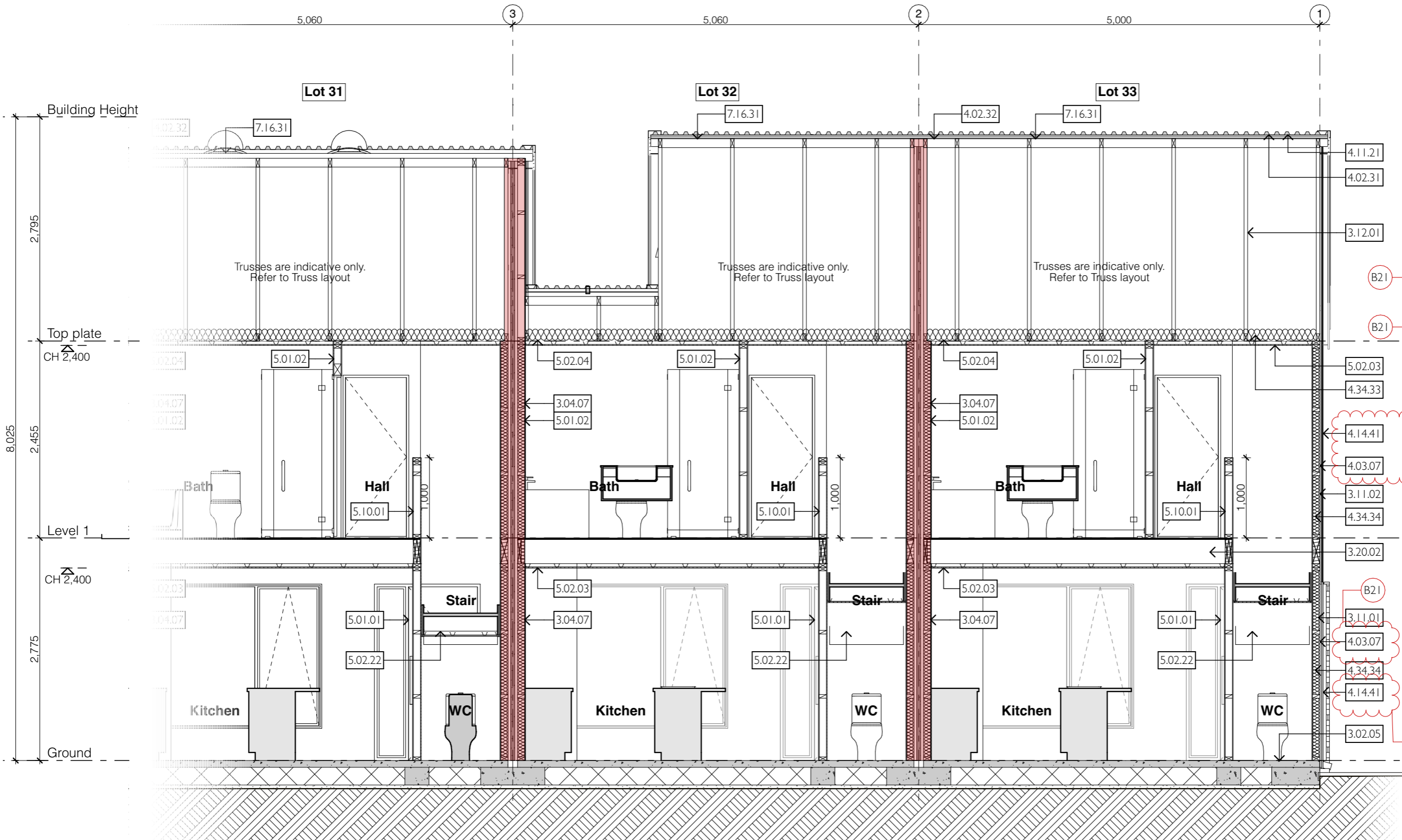
- 5.01.01** 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.
- 5.01.02** 10mm GIB board Aqualine lining to wet areas direct fixed to framing stopped to a level 4 finish.
- 5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.04** 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.22** 13mm GIB board Aqualine lining fixed to underside of stair stopped to a level 4 finish. Provide framing as necessary.
- 5.10.01** Interior timber balustrade. Refer to Architectural details.

**7 SERVICES**

- 7.16.31** Hometec Solatube Daylighting System I60DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

STAIR INFORMATION

- GF to Lvl 1:
- Main Private Stair with handrail to inside
  - 2775mm flight
  - 15 closed risers @ 185mm
  - 280mm tread (260mm going)
  - 1000mm wide



S2 Cross Section 2  
330 Scale 1:50



I18 MANUROA  
ROAD

SECTION 2-2

Code: MANU Site: Lots 29-33 Type: E & D

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Rev	ChID	Revision	Date
B2	B21	Updated Keynote	18/07/22
B1			21/04/22

BCO10349237 Received by Auckland Council 29/07/2022



22 December 2022  
BCO10349237 – Lot 29 BCO10349400 – Lot 30  
BCO10349401 – Lot 31 BCO10349403 – Lot 32  
BCO10349404 – Lot 33

**APPROVED**  
**BUILDING CONSENT PLANS**

#### NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

#### Key Notes

- 3 STRUCTURE BUILDING**  
**3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.  
**3.05.40** FRR 30/30/30 Fire Rated ceiling system with GIB board lining Refer to Architectural details for further information. Spec: GBUC 30  
**3.11.05** 140x45mm H1.2 SG8 timber framed walls with studs at 400mm crs.  
**3.12.01** Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.  
**3.20.02** 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

#### 4 BUILDING ENVELOPE

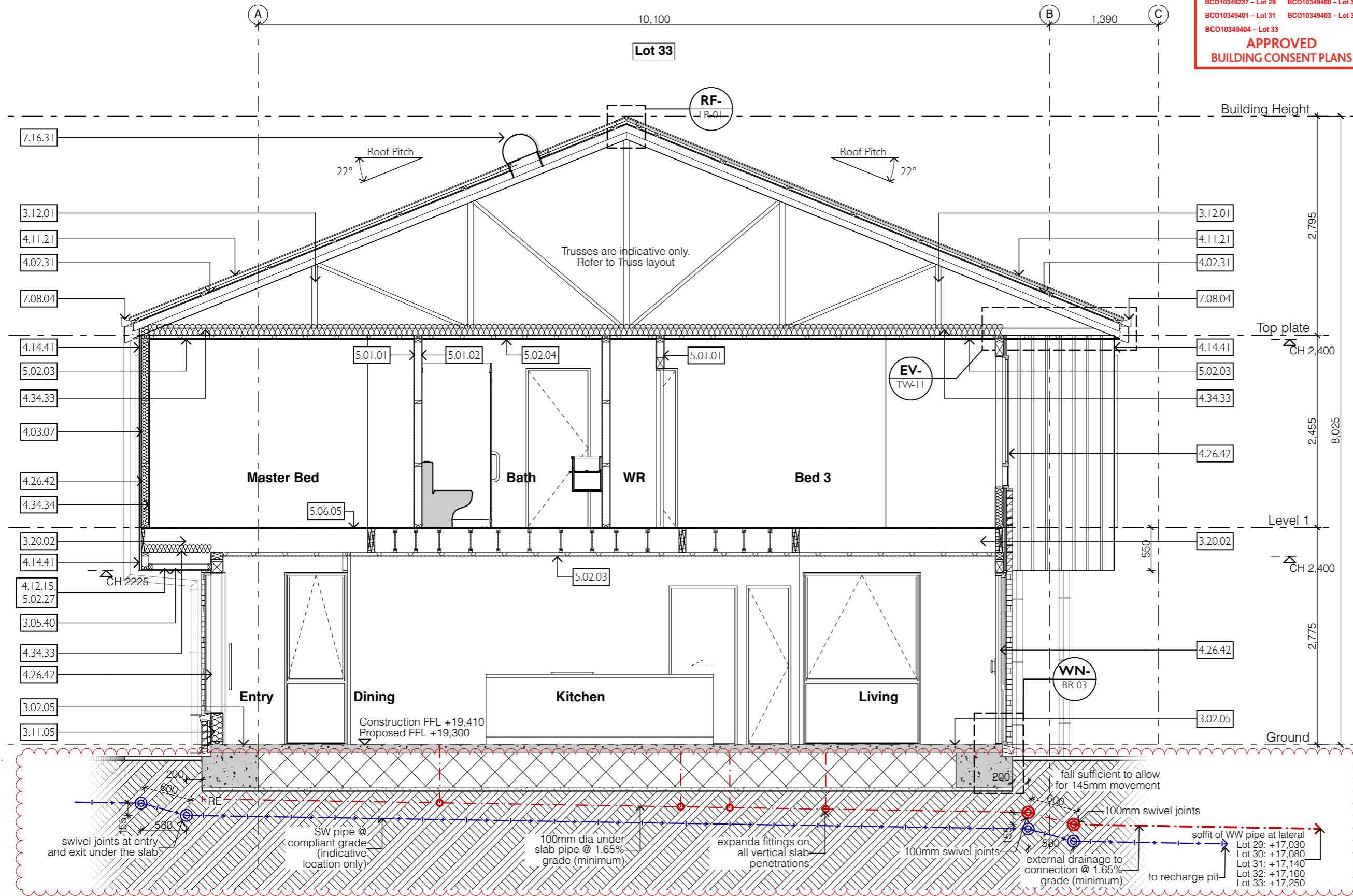
- 4.02.31** Paul Industries Pauloid Bituminous self support underlay  
**4.03.07** Frame Protection System (FPS) Weathertight System Eurotop wall underlay. Install to manufacturers instructions  
**4.11.21** Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.  
**4.12.15** James Hardie 4.5mm Hardiflex soffit linings with uPVC jointers.  
**4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.  
**4.26.42** APL suites. Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.  
**4.34.33** Eco R3.6 batts ceiling insulation.  
**4.34.34** Eco R2.2 to all external walls, including internal garage walls.

#### 5 INTERIORS

- 5.01.01** 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.  
**5.01.02** 10mm GIB board Aqualine lining to wet areas direct fixed to framing stopped to a level 4 finish.  
**5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.  
**5.02.04** 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.  
**5.02.27** 16mm GIB board Fyrelene lining fixed to timber ceiling battens at 600mm crs direct fix as required stopped to a level 4 finish.  
**5.06.05** 19mm treated plywood flooring, H3 treated to wet areas only.

#### 7 SERVICES

- 7.08.04** Multiline Colorsteel fascia, Customline Colorsteel spouting.  
**7.16.31** Hometec Solatube Daylighting System 160DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.



S3 Cross Section 3  
330 Scale 1:50

B3	B31	Schematics added	15/12/22
B2	B22	Updated Keynote	18/07/22
B1	B21	Cladding changed	21/04/22
Rev	ChID	Revision	Date



I18 MANUROA ROAD

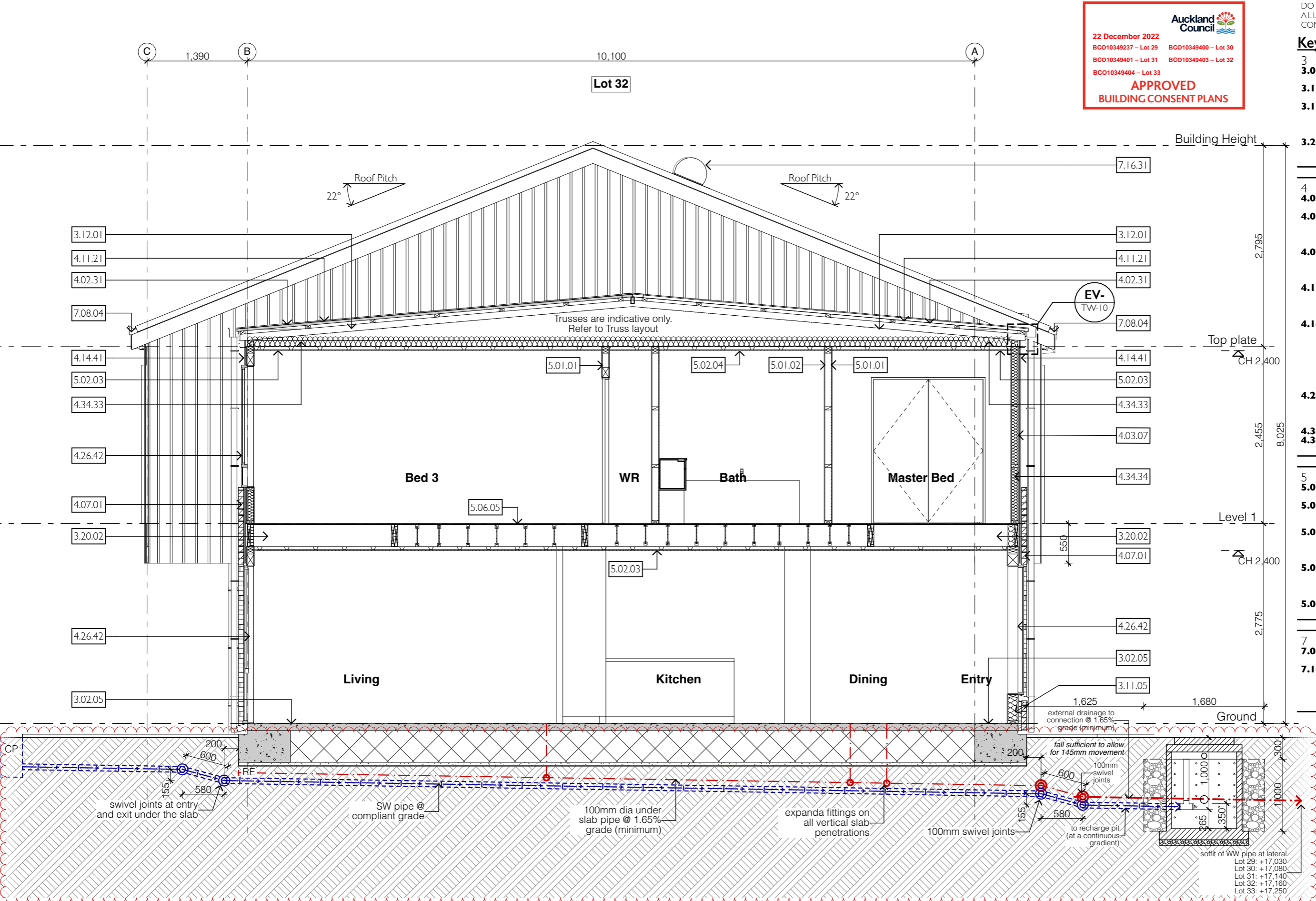
#### SECTION 3

Code: MANU Site: Lots 29-33 Type: E & D

Scale @ A3: 1:50  
Published: 15/12/22  
Status: BC ISSUE

Sheet: 414 Revision: B3  
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NOTES  
DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

### Key Notes

- 3 STRUCTURE BUILDING  
3.02.05 Rib raft concrete floor slab system. Refer to Engineers documents.  
3.11.05 140x45mm H1.2 SG8 timber framed walls with studs at 400mm crs.  
3.12.01 Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.  
3.20.02 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

- 4 BUILDING ENVELOPE  
4.02.31 Paul Industries Pauloid Bituminous self support underlay.  
4.03.07 Frame Protection System (FPS) Weathertight System Eurotop wall underlay. Install to manufacturers instructions.  
4.07.01 70 series brick veneer tied to wall framing over a 40mm min vented cavity (120mm rebate depth) fixed with wall ties as per Think Brick TB1.  
4.11.21 Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.  
4.14.41 WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.  
4.26.42 APL suites. Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.  
4.34.33 Eco R3.6 batts ceiling insulation.  
4.34.34 Eco R2.2 to all external walls, including internal garage walls.

- 5 INTERIORS  
5.01.01 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.  
5.01.02 10mm GIB board Aqualine lining to wet areas direct fixed to framing stopped to a level 4 finish.  
5.02.03 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.  
5.02.04 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.  
5.06.05 19mm treated plywood flooring, H3 treated to wet areas only.

- 7 SERVICES  
7.08.04 Multiline Colorsteel fascia, Customline Colorsteel spouting.  
7.16.31 Hometec Solatube Daylighting System 160DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

54 Cross Section 34  
330 Scale 1:50

B3	B31	Schematics added	15/12/22
B2	B22	Updated Keynote	18/07/22
B1	B21	Cladding changed	21/04/22
Rev	ChID	Revision	Date



I18 MANUROA ROAD

### SECTION 4

Code: MANUI  
Site: Lots 29-33  
Type: E & D

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NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

Key Notes

- 3 STRUCTURE BUILDING
- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.
- 3.11.02** 90x45mm H1.2 SG8 timber framed walls with studs at 600mm crs.
- 3.11.05** 140x45mm H1.2 SG8 timber framed walls with studs at 400mm crs.
- 3.12.01** Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.
- 3.20.02** 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

4 BUILDING ENVELOPE

- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.03.07** Frame Protection System (FPS) Weathertight System Eurotop wall underlay. Install to manufacturers instructions
- 4.07.01** 70 series brick veneer tied to wall framing over a 40mm min vented cavity (120mm rebate depth) fixed with wall ties as per Think Brick TB1.
- 4.11.21** Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.
- 4.12.15** James Hardie 4.5mm Hardieflex soffit linings with PVC joiners.
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.26.42** APL suites. Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.
- 4.34.33** Eco R3.6 batts ceiling insulation.
- 4.34.34** Eco R2.2 to all external walls, including internal garage walls.

5 INTERIORS

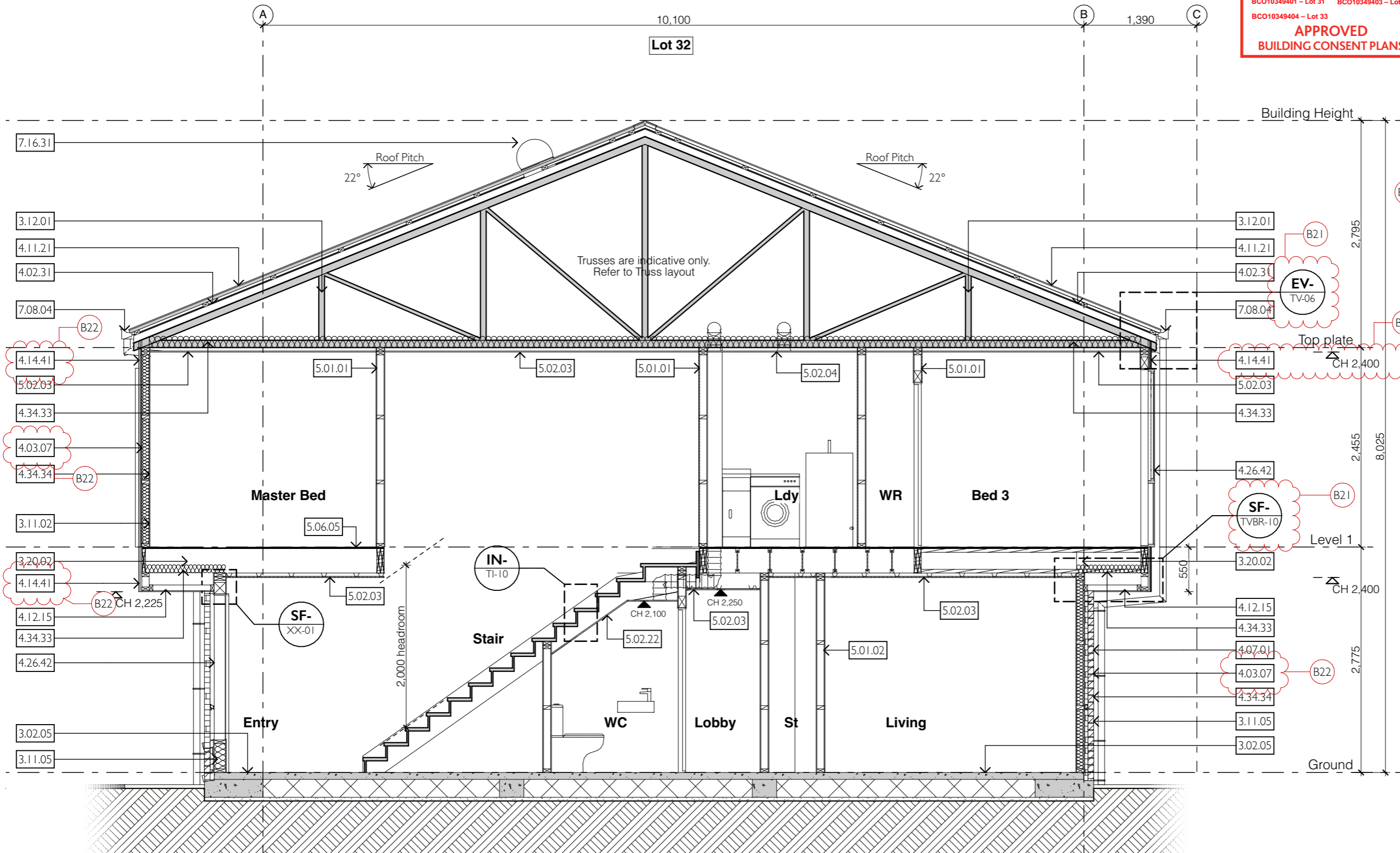
- 5.01.01** 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.
- 5.01.02** 10mm GIB board Aqualine lining to wet areas direct fixed to framing stopped to a level 4 finish.
- 5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.04** 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.22** 13mm GIB board Aqualine lining fixed to underside of stair stopped to a level 4 finish. Provide framing as necessary.
- 5.06.05** 19mm treated plywood flooring, H3 treated to wet areas only.

7 SERVICES

- 7.08.04** Multiline Colorsteel fascia, Customline Colorsteel spouting.
- 7.16.31** Hometec Solatube Daylighting System I60DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

STAIR INFORMATION

- GF to Lvl 1:
- Main Private Stair with handrail to inside
  - 2775mm flight
  - 15 closed risers @ 185mm
  - 280mm tread (260mm going)
  - 1000mm wide



s5 Cross Section 5  
330 Scale 1:50

B2	B22	Updated Keynote	18/07/22
	B21	Cladding changed	
BI			21/04/22
Rev	ChID	Revision	Date

NOTES

DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK

Key Notes

- 3 STRUCTURE BUILDING
- 3.02.05** Rib raft concrete floor slab system. Refer to Engineers documents.
- 3.11.02** 90x45mm H1.2 SG8 timber framed walls with studs at 600mm crs.
- 3.12.01** Prefabricated H1.2 timber roof trusses to manufacturers specification and to NZS3603. Refer to Manufacturers documents.
- 3.20.02** 300mm deep Carter's cassette floors. Refer to Manufacturer's docs for more info.

4 BUILDING ENVELOPE

- 4.02.03** Thermakraft 215 Bituminous Self Supporting roof underlay.
- 4.02.31** Paul Industries Pauloid Bituminous self support underlay
- 4.03.07** Frame Protection System (FPS) Weathertight System Eurotop wall underlay. Install to manufacturers instructions
- 4.11.21** Steel & tube plumbdek profiled metal roofing 0.55 BMT to comply with E2/AS1 fixed with colour matched tek screws.
- 4.12.15** James Hardie 4.5mm Hardieflex soffit linings with PVC joiners.
- 4.14.41** WeatherTex Weathergroove Smooth 300 vertical cladding fixed to 45x20 H3.2 timber battens with timber screw 10g x 65mm c/sunk HDG8 or ND62 Bradnail 14g SS, studs must be at max. 600mm crs. with nogs fitted between the studs at max. 800mm crs. between top and bottom plates.
- 4.26.41** Latitude 1GV entrance door with Securicraft combo set (door knob and deadlock)
- 4.26.42** APL suites. Aluminium powder coated exterior window and door joinery. Refer to schedules for details of actions, finish, glazing and frame etc.
- 4.34.33** Eco R3.6 batts ceiling insulation.
- 4.34.34** Eco R2.2 to all external walls, including internal garage walls.

5 INTERIORS

- 5.01.01** 10mm GIB board lining direct fixed to framing stopped to a level 4 finish.
- 5.01.02** 10mm GIB board Aqualine lining to wet areas direct fixed to framing stopped to a level 4 finish.
- 5.02.03** 13mm GIB board lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.02.04** 13mm GIB board Aqualine lining fixed to metal ceiling battens (35mm) at 600mm crs direct fix as required stopped to a level 4 finish.
- 5.06.05** 19mm treated plywood flooring, H3 treated to wet areas only.

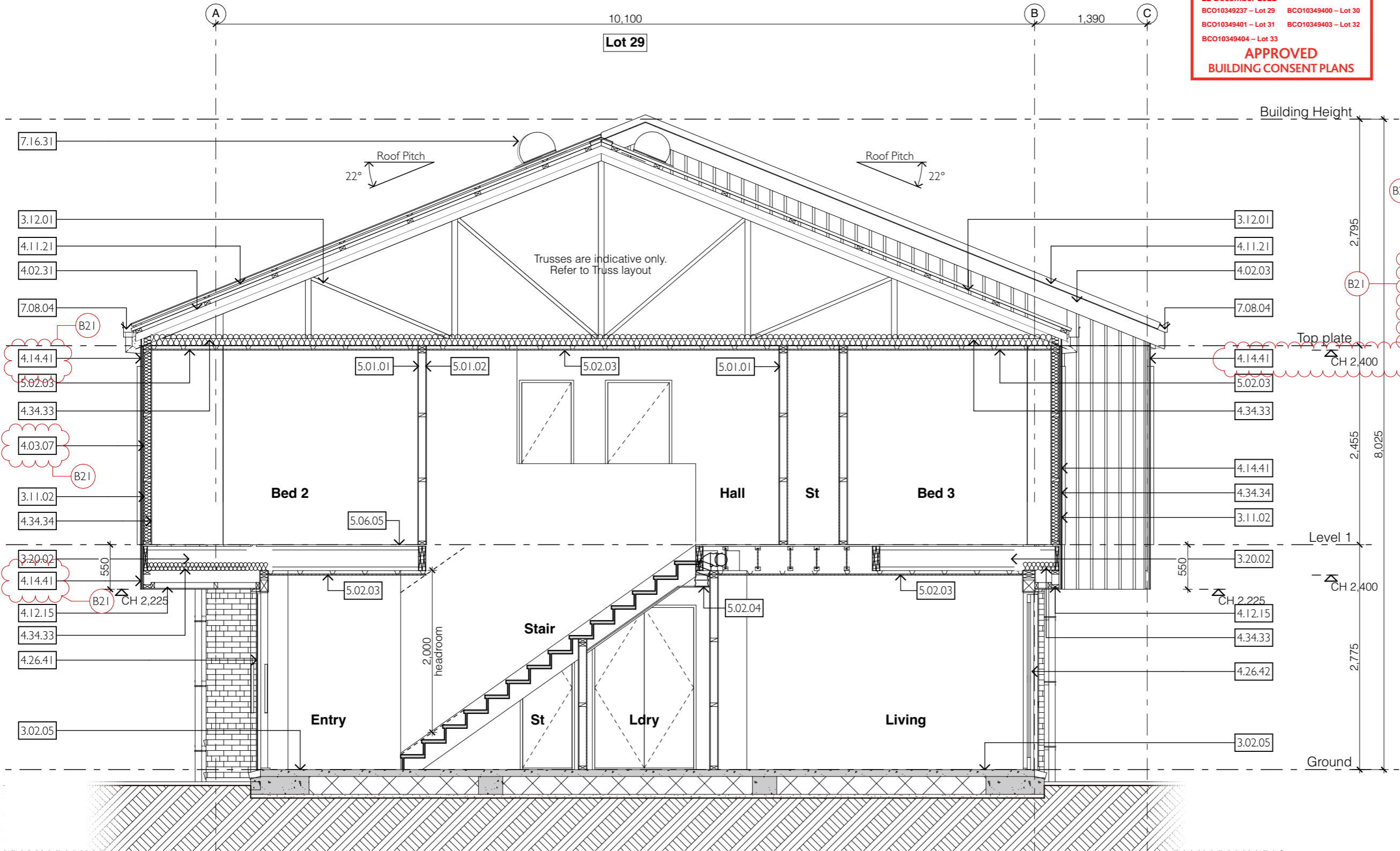
7 SERVICES

- 7.08.04** Multiline Colorsteel fascia, Customline Colorsteel spouting.
- 7.16.31** Hometec Solatube Daylighting System 160DS (with vent to bathrooms without window) rooflight penetration through roof. Refer to Manufacturers documents.

STAIR INFORMATION

GF to Lvl 1:

- Main Private Stair with handrail to inside
- 2775mm flight
- 15 closed risers @ 185mm
- 280mm tread (260mm going)
- 1000mm wide



s6 Cross Section 6  
330 Scale 1:50

Rev	ChID	Revision	Date
B2	B21	Updated Keynote	18/07/22
B1			21/04/22



I18 MANUROA ROAD

CLASSIC DEVELOPMENTS

SECTION 6

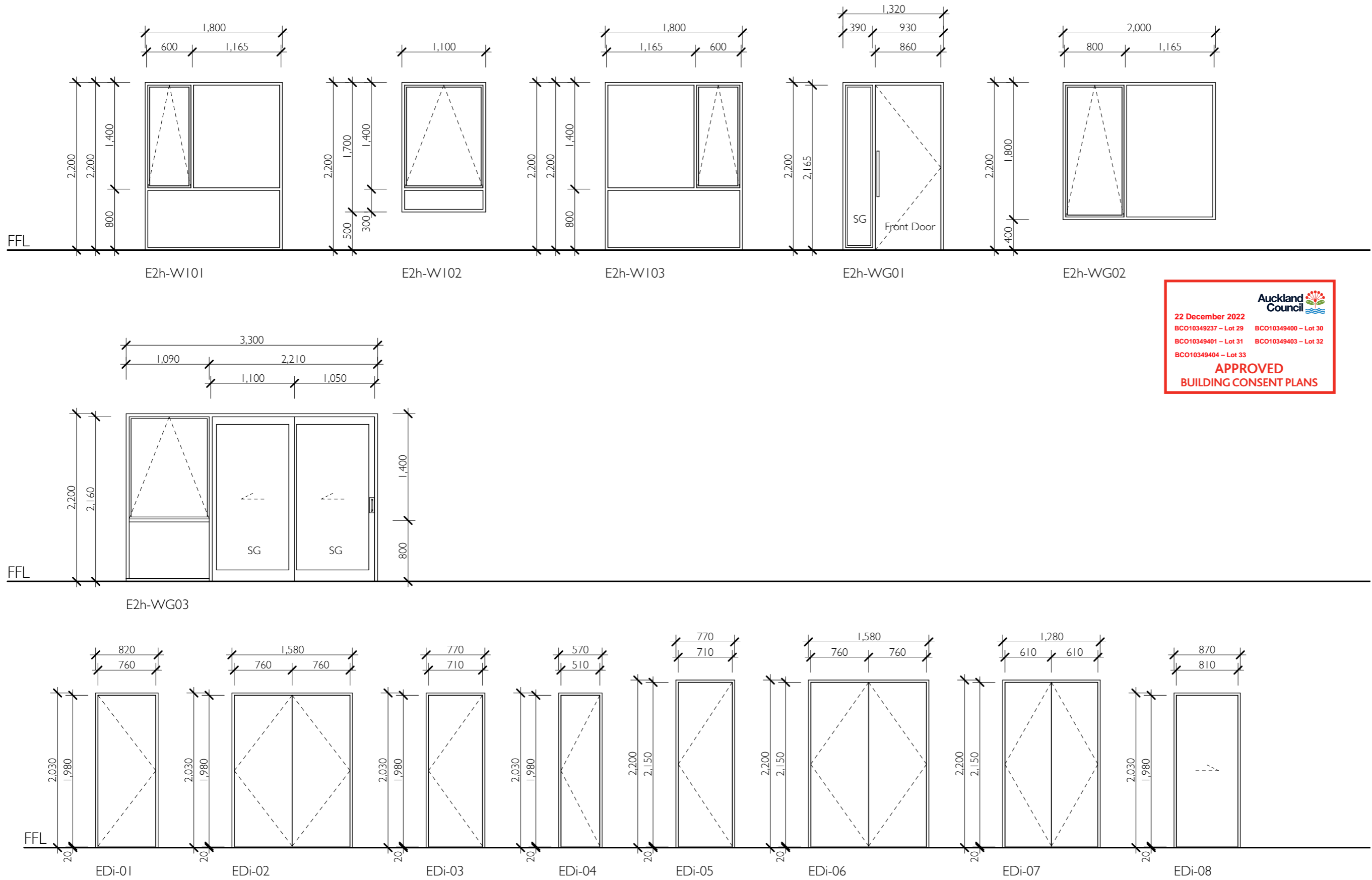
Code: MANU Site: Lots 29-33 Type: E & D

Scale @ A3: 1:50  
Published: 28/07/22  
Status: BC ISSUE

Sheet: 417 Revision: B2  
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#### NOTES

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#### Key Notes

##### GENERAL NOTES

- 1.04.20** Check all dimensions on site prior to manufacture.
- 1.04.21** All flashings and preparation of openings to comply with NZBC E2/AS1.
- 1.04.22** Refer to hardware schedule for information on locksets and furniture.
- 1.04.23** Refer to floor plan also for orientation of door swings.

##### 4 BUILDING ENVELOPE

- 4.26.20** Unless specified otherwise, all exterior doors/windows are to be Pacific Suite 35mm residential aluminium.
- 4.26.25** Unless specified otherwise, all door/window liners are to be Ex 40mm with 40x10mm architraves.
- 4.26.30** Unless specified otherwise, all aluminium is to be powder coated. All colours are to be confirmed.
- 4.26.35** All door handles are to be mounted 1000mm above floor level.
- 4.26.36** All doors are to have 3 hinges.
- 4.26.37** All doors/windows are to be fixed with 6mm CS wood screws through timber packers.
- 4.26.40** Unless noted otherwise, provide restrictor stays to all awning windows to comply with NZBC F4/AS1.
- 4.33.03** Glazing denoted by 'STC31' is to be double glazed to a min STC 31 rating with 6mm/6mmAS/6mm. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.10** Obscure glazing denoted by 'OG'.
- 4.33.20** All full height glazing with no transoms to have safety glass. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.21** Safety glass denoted by 'SG'. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.31** Unless specified otherwise, all glazing is to be double glazed. Glazing to comply with NZS 4223 and NZS 2208.

#### I Interior Doors

Scale: as shown

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



I18 MANUROA ROAD

CLASSIC DEVELOPMENTS

DOOR & WINDOW SCHEDULE - E2h

Code: MANU B4 Site: Lots 29-33 Type: E & D

Scale @ A3:

Published:

Status:

28/07/22

BC ISSUE

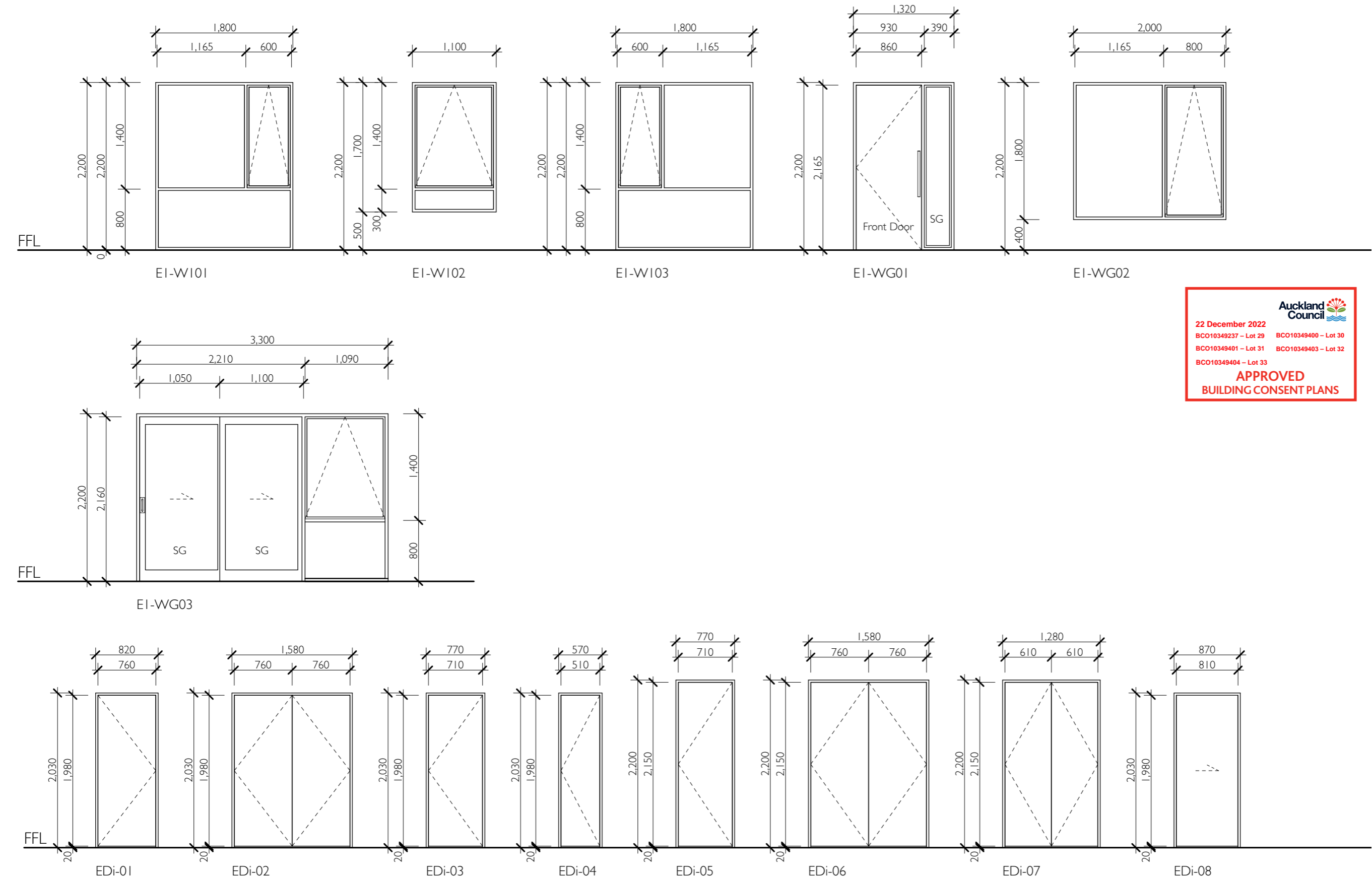
Sheet:

601

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Revision:

B2



NOTES

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Key Notes

GENERAL NOTES

- 1.04.20** Check all dimensions on site prior to manufacture.
- 1.04.21** All flashings and preparation of openings to comply with NZBC E2/AS1.
- 1.04.22** Refer to hardware schedule for information on locksets and furniture.
- 1.04.23** Refer to floor plan also for orientation of door swings.

BUILDING ENVELOPE

- 4.26.20** Unless specified otherwise, all exterior doors/windows are to be Pacific Suite 35mm residential aluminium.
- 4.26.25** Unless specified otherwise, all door/window liners are to be Ex 40mm with 40x10mm architraves.
- 4.26.30** Unless specified otherwise, all aluminium is to be powder coated. All colours are to be confirmed.
- 4.26.35** All door handles are to be mounted 1000mm above floor level.
- 4.26.36** All doors are to have 3 hinges.
- 4.26.37** All doors/windows are to be fixed with 6mm CS wood screws through timber packers.
- 4.26.40** Unless noted otherwise, provide restrictor stays to all awning windows to comply with NZBC F4/AS1.
- 4.33.03** Glazing denoted by 'STC31' is to be double glazed to a min STC 31 rating with 6mm/6mmAS/6mm. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.10** Obscure glazing denoted by 'OG'.
- 4.33.20** All full height glazing with no transoms to have safety glass. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.21** Safety glass denoted by 'SG'. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.31** Unless specified otherwise, all glazing is to be double glazed. Glazing to comply with NZS 4223 and NZS 2208.



I Interior Doors  
Scale: as shown

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



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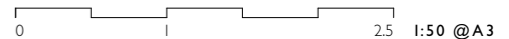
I18 MANUROA  
ROAD

CLASSIC DEVELOPMENTS

DOOR & WINDOW  
SCHEDULE - EI

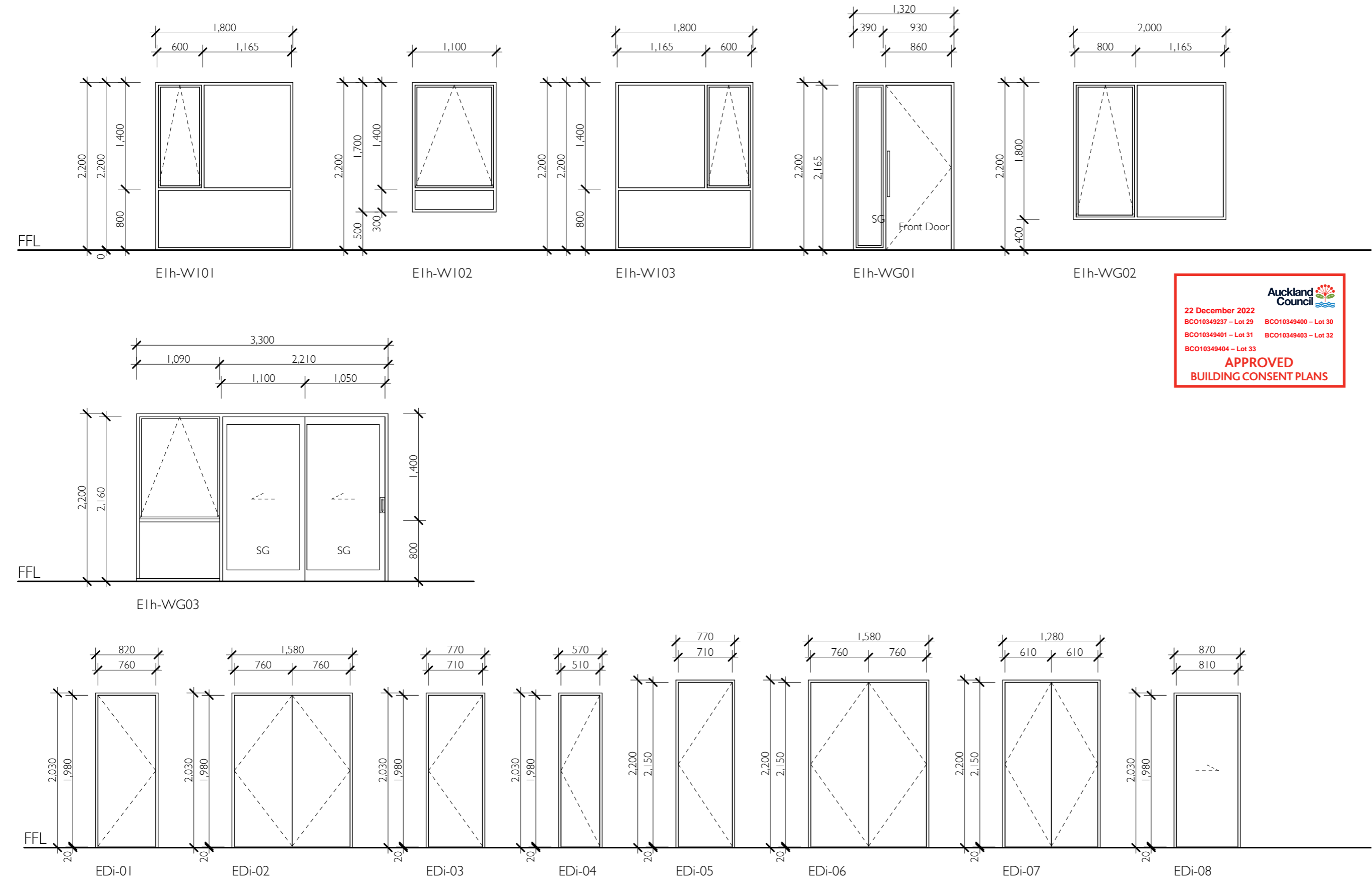
Code: MANU Site: Lots 29-33 Type: E & D

Scale @ A3:  
Published: 28/07/22  
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I Interior Doors  
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Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



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I18 MANUROA  
ROAD

CLASSIC DEVELOPMENTS

DOOR & WINDOW  
SCHEDULE - EiH

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## NOTES

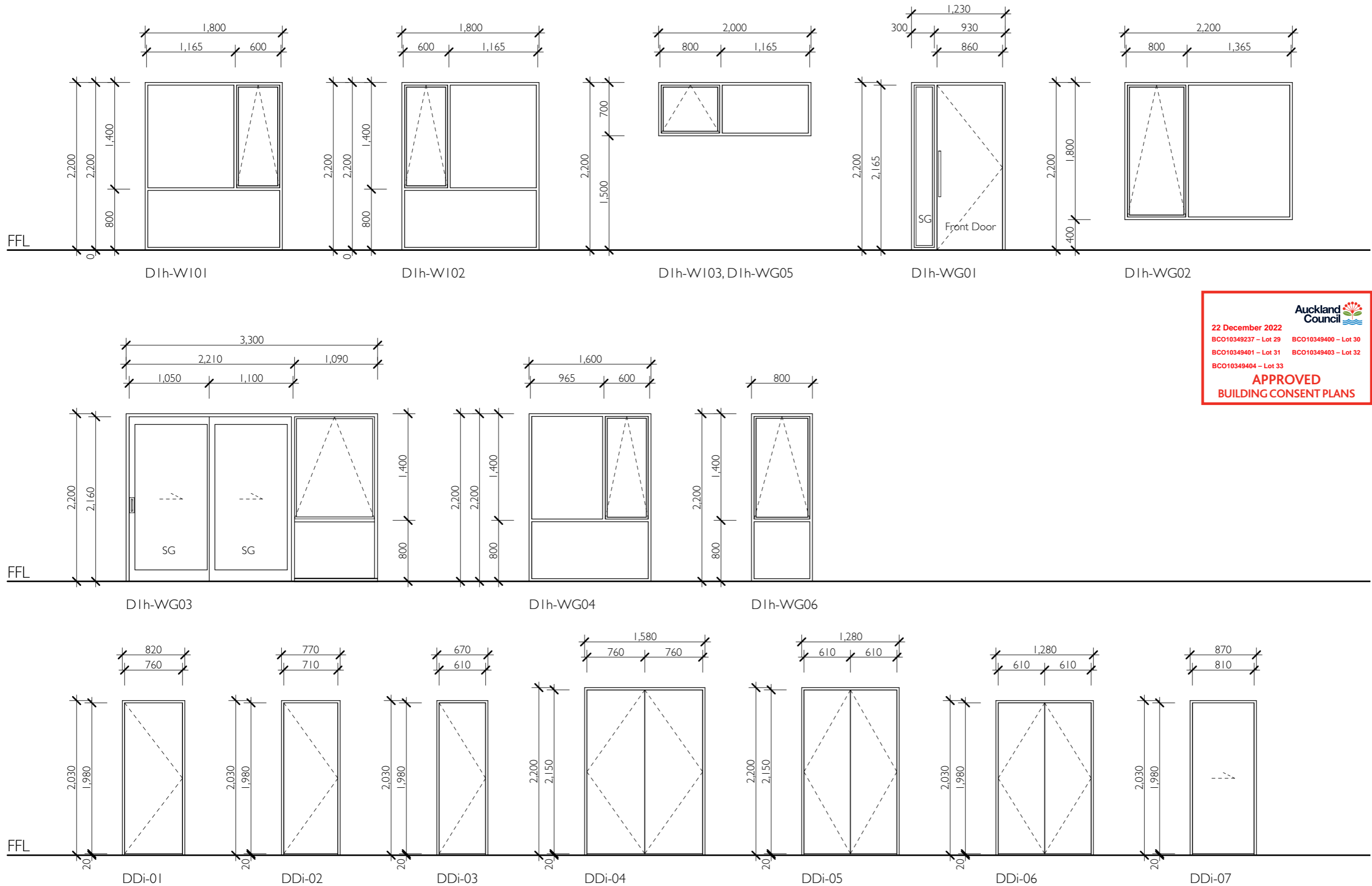
DO NOT SCALE FOR CONSTRUCTION VERIFY  
ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK

## Key Notes

- 1.04.20** GENERAL NOTES  
Check all dimensions on site prior to manufacture.  
**1.04.21** All flashings and preparation of openings to comply with NZBC E2/AS1.  
**1.04.22** Refer to hardware schedule for information on locksets and furniture.  
**1.04.23** Refer to floor plan also for orientation of door swings.

- 4.26.20** BUILDING ENVELOPE  
Unless specified otherwise, all exterior doors/windows are to be Pacific Suite 35mm residential aluminium.  
**4.26.25** Unless specified otherwise, all door/window liners are to be Ex 40mm with 40x10mm architraves.  
**4.26.30** Unless specified otherwise, all aluminium is to be powder coated. All colours are to be confirmed.  
**4.26.35** All door handles are to be mounted 1000mm above floor level.  
**4.26.36** All doors are to have 3 hinges.  
**4.26.37** All doors/windows are to be fixed with 6mm CS wood screws through timber packers.  
**4.26.40** Unless noted otherwise, provide restrictor stays to all awning windows to comply with NZBC F4/AS1.  
**4.33.03** Glazing denoted by 'STC31' is to be double glazed to a min STC 31 rating with 6mm/6mmAS/6mm. Glazing to comply with NZS 4223 and NZS 2208.  
**4.33.10** Obscure glazing denoted by 'OG'.  
**4.33.20** All full height glazing with no transoms to have safety glass. Glazing to comply with NZS 4223 and NZS 2208.  
**4.33.21** Safety glass denoted by 'SG'. Glazing to comply with NZS 4223 and NZS 2208.  
**4.33.31** Unless specified otherwise, all glazing is to be double glazed. Glazing to comply with NZS 4223 and NZS 2208.





Interior Doors

Scale: as shown



- NOTES**
- DO NOT SCALE FOR CONSTRUCTION VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK
- Key Notes**
- GENERAL NOTES**
- 1.04.20** Check all dimensions on site prior to manufacture.
- 1.04.21** All flashings and preparation of openings to comply with NZBC E2/AS1.
- 1.04.22** Refer to hardware schedule for information on locksets and furniture.
- 1.04.23** Refer to floor plan also for orientation of door swings.
- 4 BUILDING ENVELOPE**
- 4.26.20** Unless specified otherwise, all exterior doors/windows are to be Pacific Suite 35mm residential aluminium.
- 4.26.25** Unless specified otherwise, all door/window liners are to be Ex 40mm with 40x10mm architraves.
- 4.26.30** Unless specified otherwise, all aluminium is to be powder coated. All colours are to be confirmed.
- 4.26.35** All door handles are to be mounted 1000mm above floor level.
- 4.26.36** All doors are to have 3 hinges.
- 4.26.37** All doors/windows are to be fixed with 6mm CS wood screws through timber packers.
- 4.26.40** Unless noted otherwise, provide restrictor stays to all awning windows to comply with NZBC F4/AS1.
- 4.33.03** Glazing denoted by 'STC31' is to be double glazed to a min STC 31 rating with 6mm/6mmAS/6mm. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.10** Obscure glazing denoted by 'OG'.
- 4.33.20** All full height glazing with no transoms to have safety glass. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.21** Safety glass denoted by 'SG'. Glazing to comply with NZS 4223 and NZS 2208.
- 4.33.31** Unless specified otherwise, all glazing is to be double glazed. Glazing to comply with NZS 4223 and NZS 2208.

Rev	ChID	Revision	Date
B2			18/07/22
B1			21/04/22



I18 MANUROA ROAD

CLASSIC DEVELOPMENTS

DOOR & WINDOW SCHEDULE - DIh

Code: MANUI Site: Lots 29-33 Type: E & D

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